

5.0 Building Guidelines

Linear typologies

5.8 Podium assembly: Generic guidelines

5.8.1 Description

- The defining feature of the Podium assembly is a raised amenity garden bounded by buildings.
- The Podium assembly exists in a number of forms across the masterplan and is comprised of buildings arranged to one or all sides of a shared podium.
- Linear buildings bounding the Podium can be configured in a number of ways and comprise of single core buildings which are independent (Linear Pavilion buildings) or joined to form a paired run (Linear Terrace buildings).
- Some Podium building typologies incorporate runs of Terraced Houses around the podium perimeter. Designers should refer to Section 5.9 for further guidance.
- The Courtyard assembly represents the most common configuration of this typology and is composed of:
 - A pair of Linear Pavilion buildings bounding the western edges of a podium.
 - A Linear Terrace building bounding the eastern edge of a podium.
 - Townhouses on the north and/or south of the podium.
- Designers should refer to Section 5.8.11 for further guidance.
- Other arrangements are possible (Fig. 5.54) and include:
 - A podium bounded to one side by Linear buildings and lined around the perimeter by Terraced Houses.
 - A podium bounded along the south edge by the Mansion typology and lined on the east and west edges by Pavilion buildings. Section 5.10 provides additional information specific to this instance.

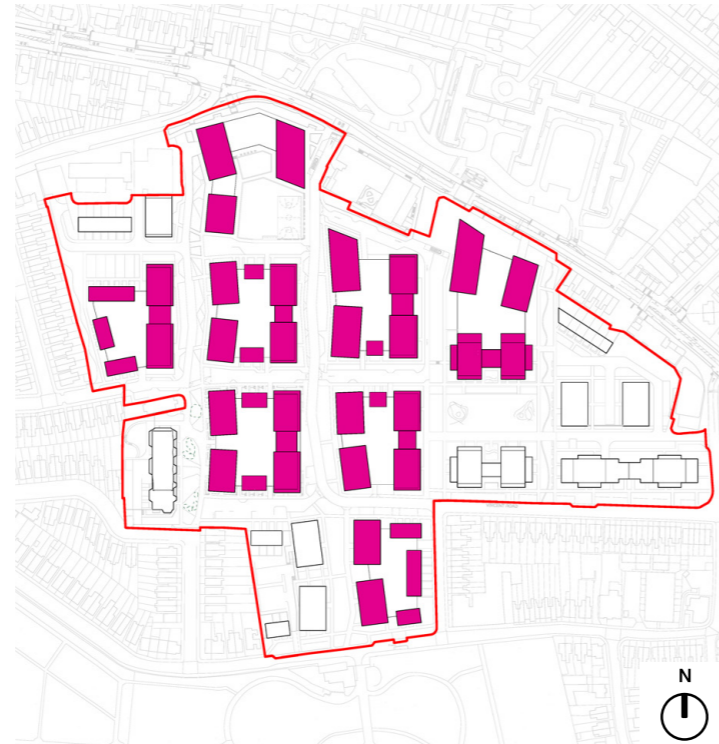


Figure 5.53: Distribution of Podium buildings within the masterplan.

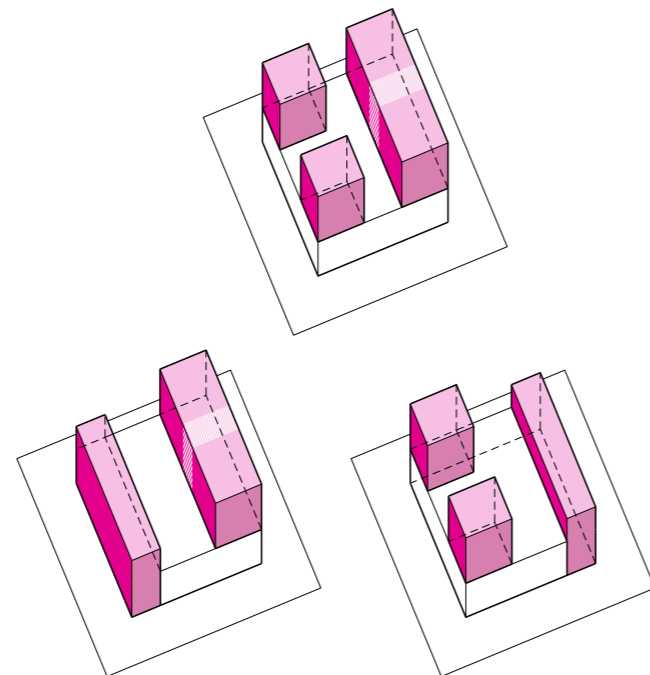


Figure 5.54: Typical Podium typologies.

- Below the raised gardens is a Ground Floor 'Plinth' element which contains residential and non-residential uses, including:
 - Homes;
 - Entrances and lobbies;
 - Cycle storage;
 - Car parking;
 - Refuse and servicing;
 - Plant; and
 - Retail / business uses.
- Residential uses lining the plinth at ground level are typically multi-storey homes (maisonettes, Townhouses or Terraced Houses) however can be single storey homes to provide Wheelchair accessible dwellings at ground level.

5.8.2 Locations

- There are eight instances of the Podium assembly in the Outline Component of the masterplan; Plots A,C,D,E,G,H and J.
- These are oriented with a north:south bias and are bounded by the principle north:south routes including; Washington:Piper, Maddingley:Willingham, Croxton Avenue and Stapleford Way.
- Podium typologies within the Stitching settings (at the fringes of The Site) mediate between the existing residential grain by replacing the adjacent Linear buildings with Terraced Houses.
- Plot E is an example of a typical Courtyard assembly building (a subset of the Podium assembly) however forms the content of the Detailed Component and is outside the scope of this document.

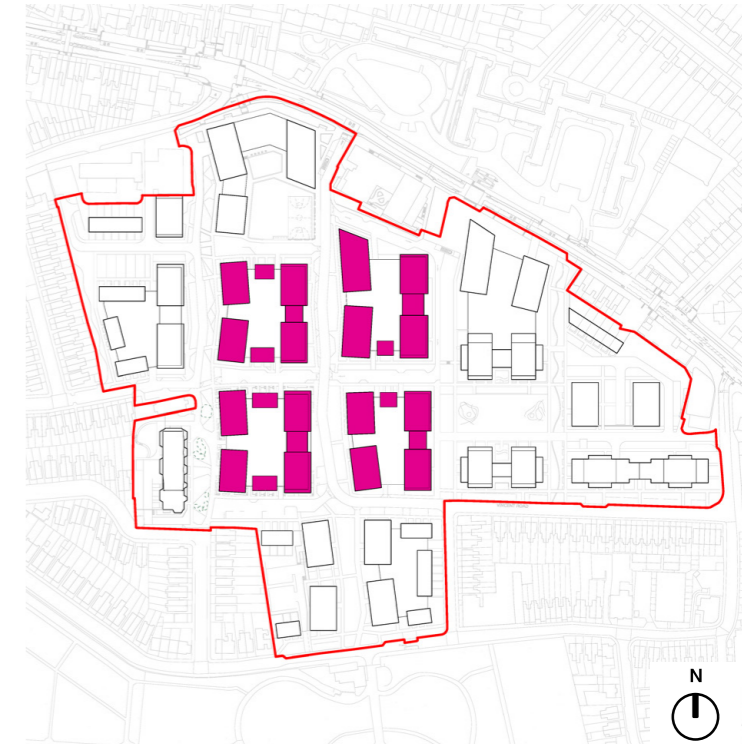
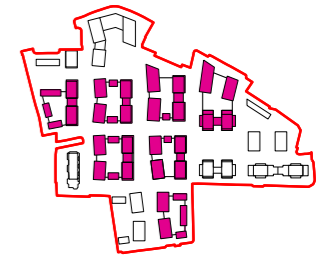


Figure 5.55: Distribution of Courtyard buildings within the masterplan.

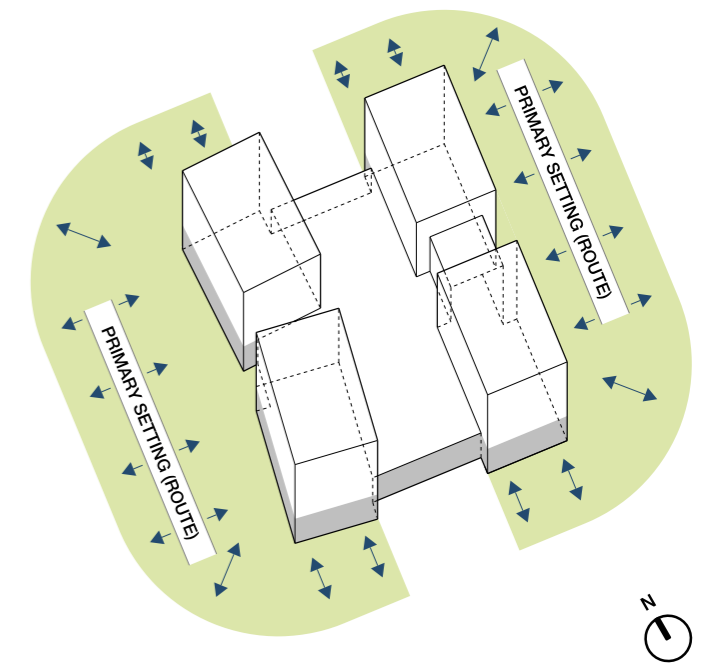


Figure 5.56: Configuration of a typical courtyard building typology showing relationship between buildings and the external, public settings.

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): **bold grey letters** | Notes: normal text

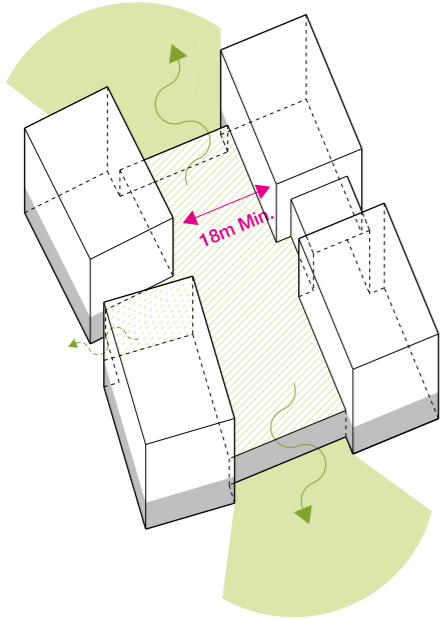
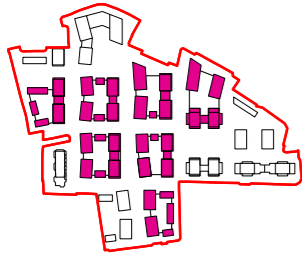


Figure 5.57: Configuration of a typical Courtyard building typology showing the internal, private settings and highlighting views out to the north and south.

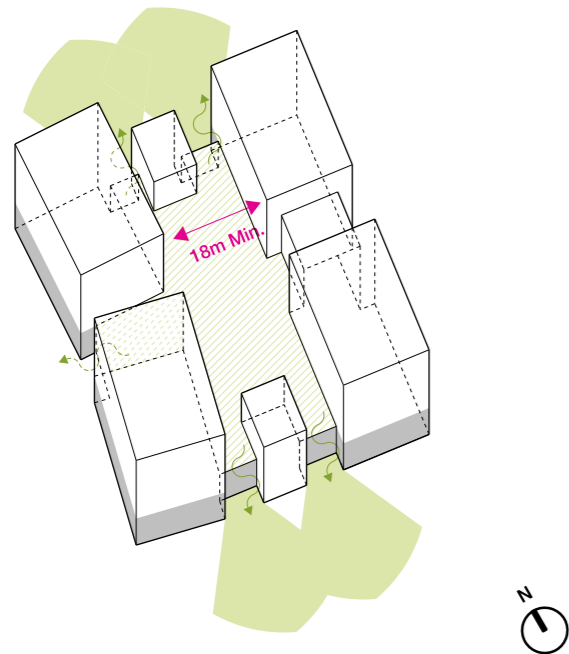


Figure 5.58: Configuration of a typical courtyard building typology showing relationship infill Townhouses on north and south edges of the podium.

5.8.3 Configuration

- **The Podium must be lined by Linear buildings on one or both of the western or eastern sides.**
- **The Podium assembly must be aligned to a north:south orientation.**
- **Each Linear building block must be located on the outer edges of the plot.**
- **The podium element must not extend beyond the perimeter blocks (Fig. 5.62).**
- **The raised amenity space between the perimeter building elements must be a minimum of 18.0m wide across the majority of its length when measured from opposing building lines.**
- **Visual connectivity between the Podiums and public realm at ground level must be preserved.**
- Raised communal gardens should be visible from the public realm, but only accessible by residents.
- Townhouses can be incorporated between the Linear buildings on the north or south elevations of Courtyard assembly buildings.
- Terraced housing can be incorporated on any side of a Podium assembly in place of the typical Linear typology buildings which would line the perimeter. This is permitted where it is necessary to incorporate lower scale accommodation in response to the existing context within Stitching Character Areas.
- **Houses on a Podium must be separated from and not joined to a Linear or Mansion typology building.**

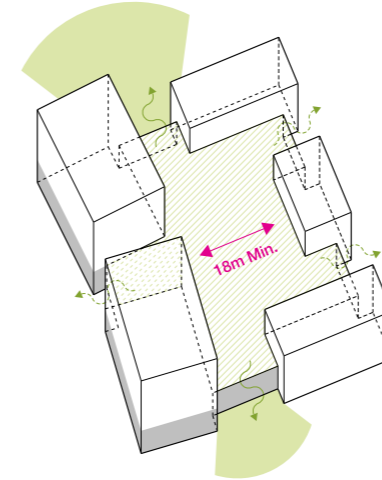


Figure 5.59: Podium configuration options - Linear Pavilions & houses.

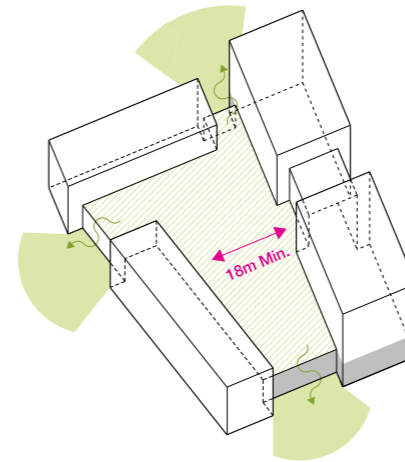


Figure 5.60: Podium configuration options - Linear Terraces & houses.

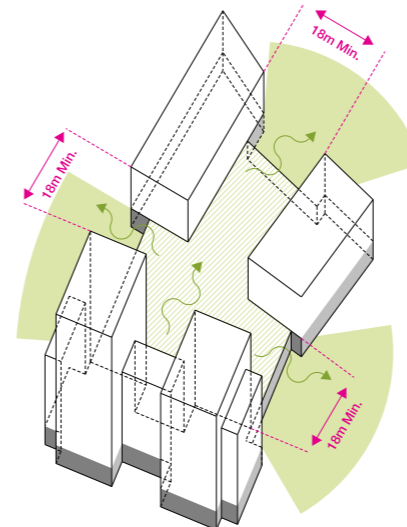


Figure 5.61: Podium configuration options - Linear Pavilions & Mansions.

- The incorporation of Mansion buildings into a Podium assembly is restricted to Plot K which lines the northern edge of Cambridge Grove Gardens.
- Generic Guidelines for Podium building typologies is illustrated using a Courtyard sub-type E.g. Plot E within the Detailed Component.
- **The Linear buildings must follow configuration Guidelines in Section 5.5, 5.6 and 5.7.**
- **The Houses must follow configuration Guidelines in Section 5.9.**
- **The Mansion buildings must follow configuration Guidelines in Section 5.10.**

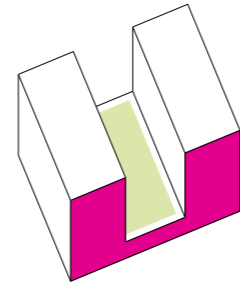
5.0 Building Guidelines

Linear typologies

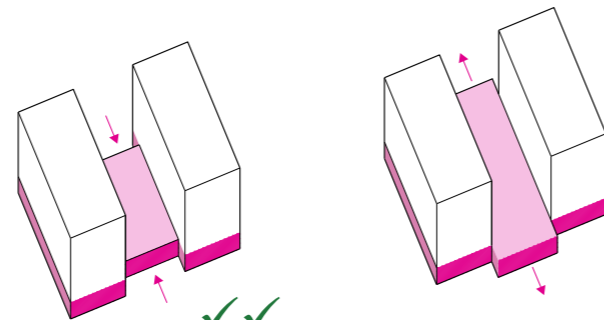


5.8.4 Base massing

- **The central element of the base must not project beyond the façade line of the gable ends but can be recessed back from said façade line** (Fig. 5.62).
- The massing of the perimeter buildings should be expressed as independent from the base element by recessing the central portion of the base element (Fig. 5.63).
- This provides a more interesting and varied streetscape with key buildings accented and service areas recessed.

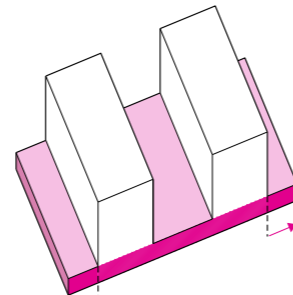


Podium contained between Perimeter buildings ✓

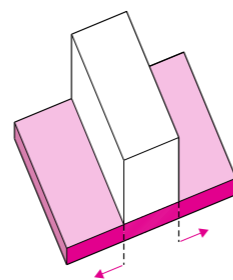


Podium recessed between buildings ✓

Podium projects from between buildings ✗



Perimeter building(s) in the centre of a podium element ✗



Single building mounted on a podium element ✗

Figure 5.62: Podium configuration diagrams.

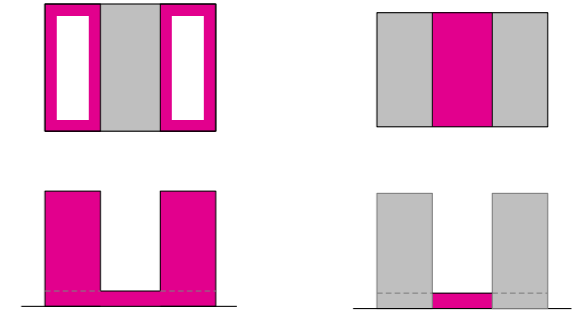
5.8.5 Articulation

- Designers should refer elsewhere to the articulation guidance for each type of building typology bounding the Podium.
- The massing of the body element can be articulated to include the base element but can never be subservient to it.
- The base element should have the same hierarchy as the Linear buildings above.
- The base elements beneath the Linear buildings could be expressed with a more dominant articulation and higher level of detail than the connecting portions.
- Where the podium is recessed between the buildings, these areas could be considered as recessive in hierarchy and level of detail

5.8.6 Podium gardens - form and configuration

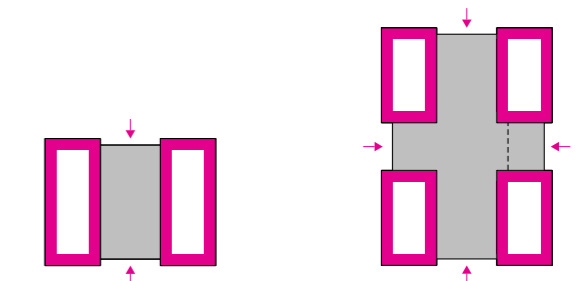
- **The raised space, bounded by the perimeter buildings must be configured as an amenity space for use by building residents.**
- The podium should be thought of as a raised garden or pocket park which can be enjoyed from grade or looked upon from adjacent residences.

- **Podium garden spaces must be designed to be 'tenure blind'.**
- Similar or equal provision of equipment should be provided to all raised communal gardens.
- **Podium gardens must be inclusive for all ages and maximise accessibility.**
- **Podium gardens must be designed to:**
 - Provide a variety of spaces for quiet enjoyment which allow for a mix of uses;
 - Include integrated play areas;
 - Offer views of green spaces and lush planting to the residential properties bounding the garden and to the streets and surrounding developments; and
 - Contribute to the overall site greening.
- Podium gardens should accommodate a range of spaces, equipment and activities, including:
 - Shared and private residential amenity;
 - Play equipment;
 - A variety of seating areas and types;
 - A mix of hard and soft landscapes; and
 - Mounded, low level planting and trees.
- **Podium gardens must not contain buildings or enclosures for plant or service facilities** (Fig. 5.64).
- **North-south views out of the Courtyard sub-typology and into the streets below must be maintained.**
- East-west views out of Podium typologies (not Courtyard typologies) should be provided.



Equal hierarchy ✓

Dominant base ✗



Building footprint dominant ✓

Building footprint dominant ✗

Legend: Dominant Recessive

Figure 5.63: Plan and section diagrams: articulation hierarchy of base and building elements.

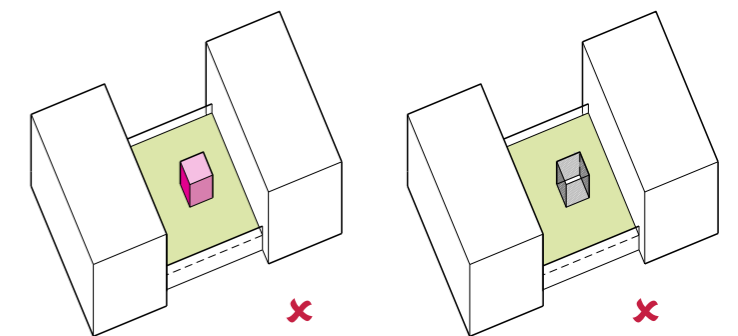


Figure 5.64: Enclosures and buildings within the Podium garden prohibited.

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text

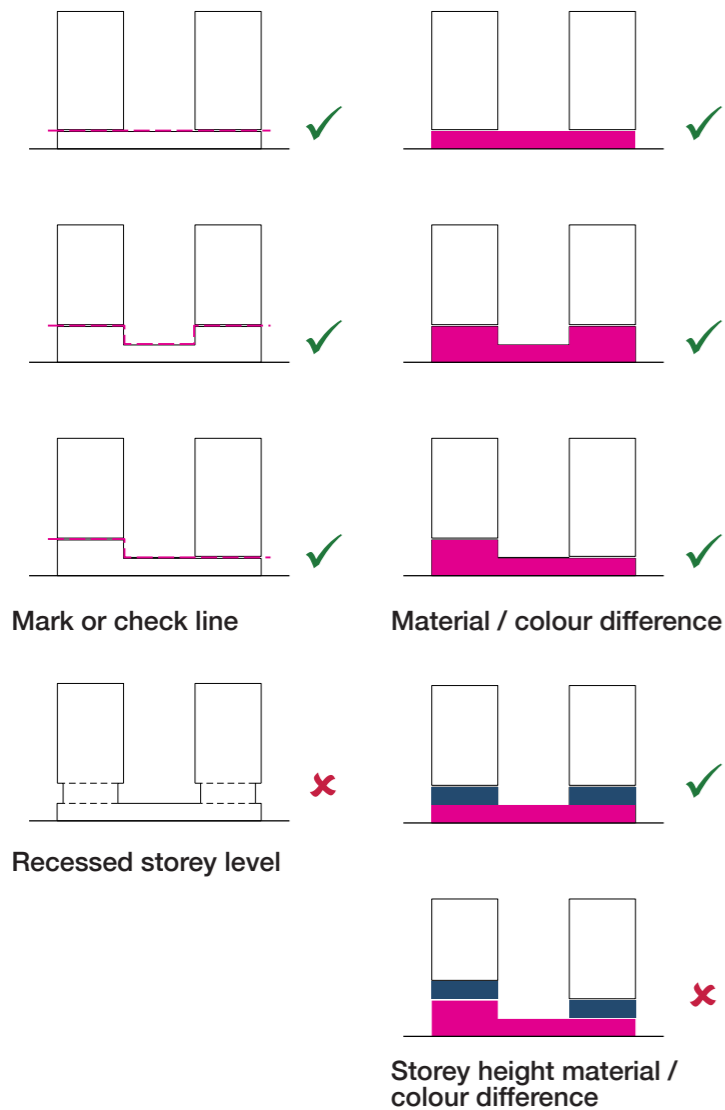
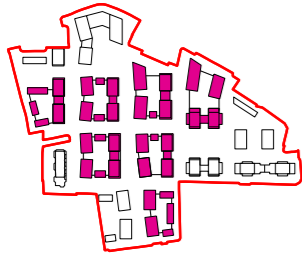


Figure 5.65: Permissible mark / check line above base element.

Figure 5.66: Permissible application of material / colour difference.

5.8.7 Base of the building

- This section supplements the guidance provided elsewhere (Section 5.5 to 5.7) which describes detail about the plinth treatment for Linear buildings and provides additional information relating to the Podium building typology only.
- The portions of façade coded in pink (Fig. 5.66) should be articulated as distinct elements from the body.
- **The articulation and expression of the plinth must combine along the street frontages of the podium elements.**
- Designers could consider using a single expression and articulation across the whole base to unify the building and bases as a single element.
- **The Linear buildings must follow the base of the building Guidelines in Section 5.5 to 5.7).**
- **The Houses must follow the Base of the building Guidelines in Section 5.9.**
- **The Mansion must follow the Base of the building Guidelines in Section 5.10).**

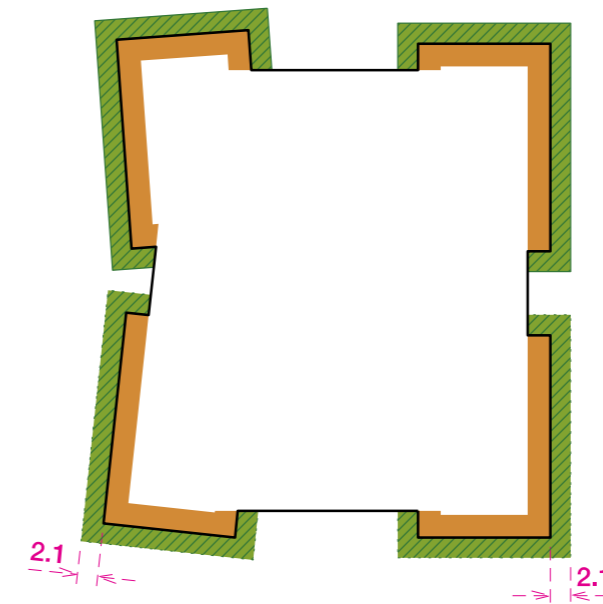


Figure 5.67: Plan diagram: Ground floor frontages.

5.8.8 Residential street frontages

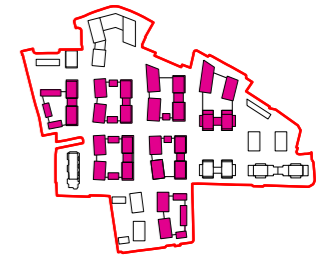
- **Where residential frontages exist within the Base component, these must have privacy buffer zones.**
- **The streets must be in keeping with the Character Area Guidelines for relevant settings.**
- **Ground floor homes must have front door access from the public realm.**
- Designers should maximise residential street frontages where front with front doors, windows and garden planting.
- Private front gardens should be provided with additional planting (inside the demise line) to provide further screening to the apartments.
- Ground floor residential homes should be designed as duplex apartments. The façade and street frontage should reflect this.
- **Where doorstep servicing is not provided to duplex apartments, access to the communal parking, refuse stores and lobbies must be provided.**
- Private front gardens can be provided with additional planting (beyond the edge planting) to provide further screening to the apartments.
- Levels along sloping streets can vary in response to landscape or building design.

Legend:

- Illustrative buffer zone / Private amenity
- Predominantly residential frontages
- Illustrative buffer zone
- Private amenity / Gardens

5.0 Building Guidelines

Linear typologies



5.8.9 Access

- The main entrances should comply with the intent illustrated in drawing: 503-PTA-MP-XX-DR-A-5402.
- All shared residential entrances must be accessed either from the routes in the west or the east.
- Car parking, cycle access and plinth services entrances are to be integrated with the design of the façades and are not be read as a secondary or back of house entrance.
- Access to shared amenity space must be provided to all cores facing the podium gardens.
- All access to the internal car-park within the plinth should typically be accessed from north or south façades.
- Access to the internal car-park within the plinth should be accessed from north façades to maximise the south façades for other uses to benefit from direct sunlight exposure.
- Zones of ventilation for car-parking and MEP services should where ever possible be orientated on the north and south façades of Podium buildings to maintain the character and continuity of the north:south routes.
- Designers should also utilise the recesses in the plinth between buildings ventilation of the car-park and MEP services.

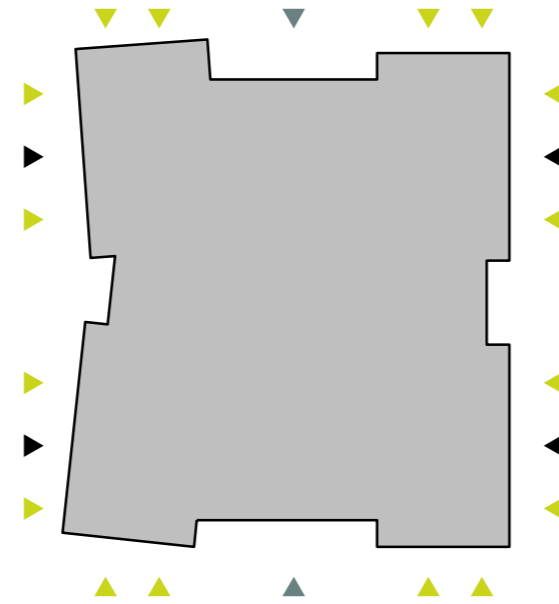


Figure 5.68: Plan diagram: Ground floor access.

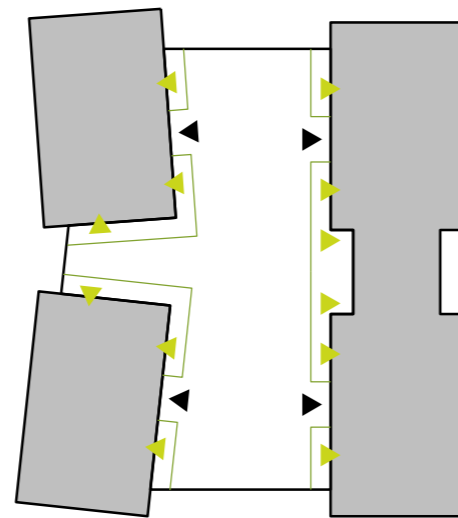


Figure 5.69: Plan diagram: First floor access.

Legend:

- | | | | |
|---|------------------------|---|--------------------------|
|  | Shared residence entry |  | Car-park entry |
|  | Single residence entry |  | Non-residential entrance |

5.8.10 Podium frontages and access

- Direct access from the shared residential core must be provided to the podium gardens. (refer to Fig. 5.70).
- Any homes that face the podium must have at least a 2m zone of private amenity space that is directly accessed from the dwelling.
- A planted buffer zone must be provided between the individual unit demise and the communal amenity space.
- The boundary between the private amenity spaces and the podium must be marked by a consistent railing of a maximum of 1.1m high. Refer to Section 6.11 for further details.
- Primary circulation routes at podium levels must be a minimum of 2m wide.
- Designers must refer to separate guidance relating to house typologies which bound onto podium spaces. Refer to section 5.9.

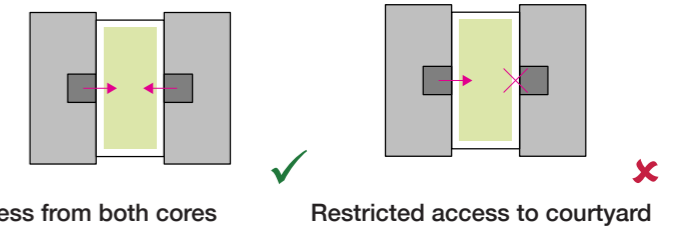


Figure 5.70: Plan diagrams: Cores and access to courtyard spaces.

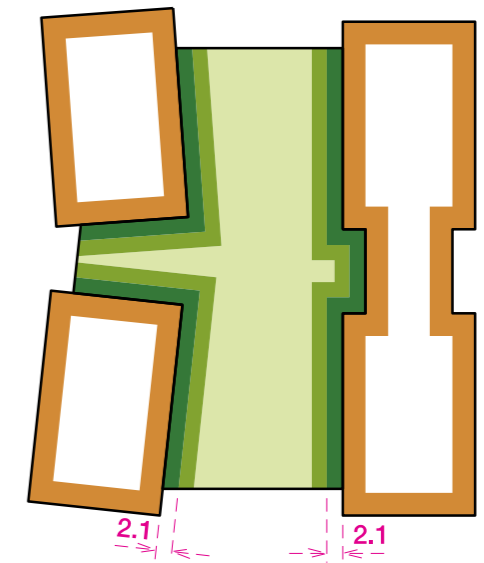






Figure 5.71: Plan diagram: First floor frontages.

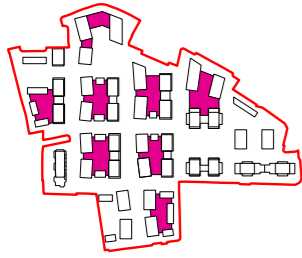
Legend:

- | | | | |
|---|-------------------------------------|---|--------------------------|
|  | Predominantly residential frontages |  | Illustrative buffer zone |
|  | Private amenity / Gardens |  | Shared amenity |

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text

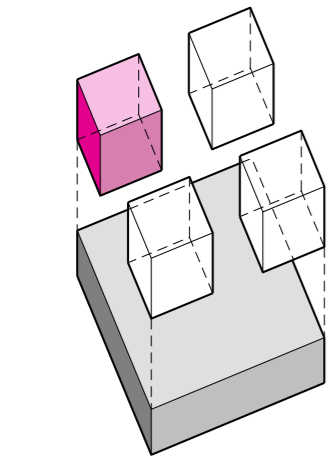
5.0 Building Guidelines

Linear typologies

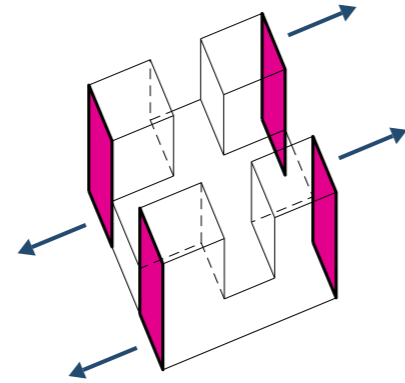


5.8.11 Specific Courtyard assembly guidance

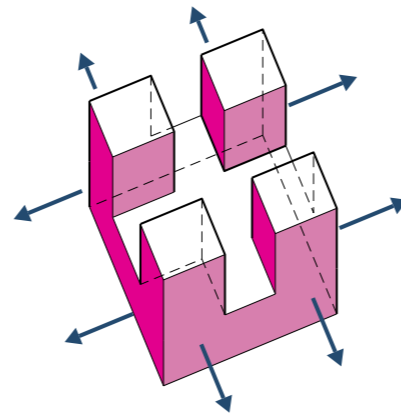
- This section supplements the Podium assembly guidance on the previous pages and provides additional information relating to the Courtyard sub-typology only.
- The configuration of Courtyard assembly buildings should follow that identified within the illustrative master-plan.
- Courtyard assembly buildings should follow the guidance identified in Fig. 5.72 where:
 - The typology is composed of 4x No. Linear buildings and a podium (this will include 2 Pavilion buildings and a Linear Terrace building).
 - **Each building must be expressed as a distinct mass**
 - **The height of each Linear building must be developed relative to the other 3x No. buildings sharing the podium.**
 - The Linear buildings should step down in height from the northeast corner to the southwest corner.
 - Building masses must be configured to maximise the amount and quality of direct sunlight into the central podium garden
 - Buildings should project out from the face of the plinth and express their individual mass at ground level as a distinct element.
- **The Linear buildings bounding the edges of the podium must follow the massing Guidelines identified in Section 5.5 to 5.7).**
- **The Terraced Houses buildings bounding the perimeter of the podium must follow the massing Guidelines identified in Section 5.9).**
- **The townhouses buildings bounding the north or south edges of the podium must follow the massing Guidelines identified in Section 5.9).**



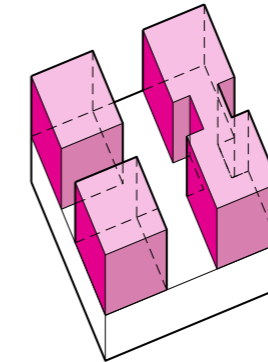
BUILDINGS & A PLINTH



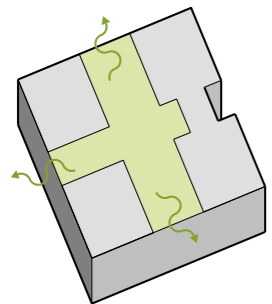
SEPARATE ADDRESSES



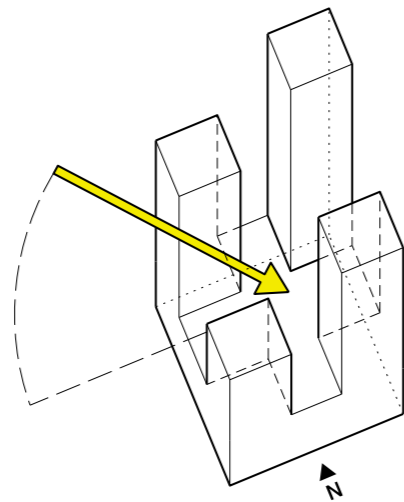
4 BUILDINGS AS PARTS OF A BLOCK



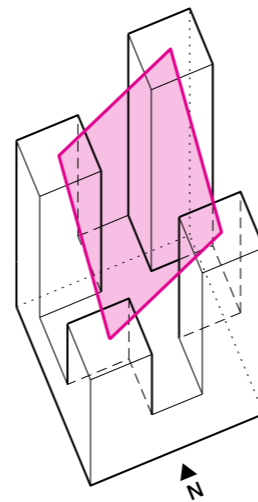
A VARIETY OF BUILDINGS



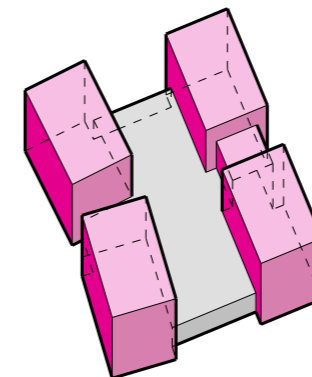
CENTRAL COURTYARD GARDEN



OPTIMISE DIRECT SUNLIGHT



TIERED MASSING OF HEIGHT



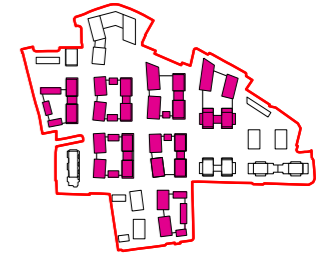
COURTYARD TYPOLOGY

Figure 5.72: Principles of Courtyard assembly massing and articulation.

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5.0 Building Guidelines

Linear typologies



5.8.12 Podium assembly precedents

- The precedent images in this section show a variety of buildings which follow the principles set out for this typology in this Design Guidelines.



Figure 5.73: Clearly articulated base element wrapping around the podium

Amaryllis House - Copenhagen - Tegnestuen LOKAL + Mangor & Nagel.



Figure 5.74: A common livery of buffer zones, walls and front doors

Laurieston Housing - Glasgow - Ian White Associates.



Figure 5.75: Buildings surrounding a raised podium

Gasgoine Estate - London - Levitt Bernstein.



Figure 5.76: Example maisonettes which define the building base

Kilburn Quarter - London - Alison Brooks.



Figure 5.77: Communal entrances clearly differentiated from individual dwelling front doors.

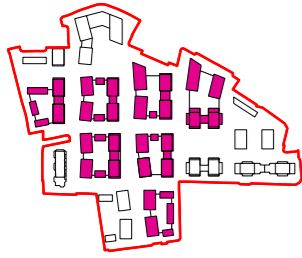
Branch Place, Colville Estate - London - Karakusevic Carson Architects.



Figure 5.78: Consistent perimeter buffer zone clearly de-marked from the public realm.

Kirkstall Forge Housing - Leeds - Feilden Clegg Bradley Studios.

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text



5.0 Building Guidelines

Linear typologies



Figure 5.79: A predominantly green central podium garden with areas of lawn to allow for unscripted activities.
Charlotte Gardens - Copenhagen - SLA.



Figure 5.80: A mix of spaces and activities within the podium garden
Rathbone Square - Fitzrovia - London - Make Architects.



Figure 5.81: An inner world away from the streetscape
Ram Brewery, Ram Quarter - Wandsworth - London.



Figure 5.85: An engaging landscape with a mix of planting and hard space is a visual extension to the private amenity afforded by balconies.
Big Yard Co-Housing Development - Berlin - Zanderroth Architekten.



Figure 5.82: Landscaped routes between podium buildings
St. Andrews Block B - east London - Maccreanor Lavington.

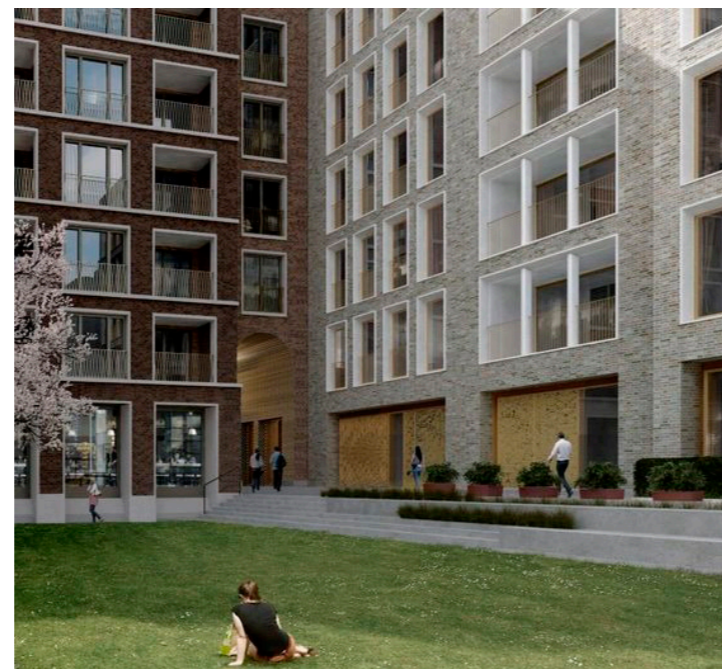


Figure 5.83: A central garden space surrounded by buildings
St. Barts Square - London - Piercy and Co.



Figure 5.84: Integrating communities and informal areas for doorstep play
Big Yard Co-Housing Development - Berlin - Zanderroth Architekten.



Figure 5.86: Clearly defined areas of private and semi-private amenity space.
Iroko Housing Co-op - Coin Street London - Haworth Tompkin.

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): **bold grey letters** | Notes: normal text

5.0 Building Guidelines

House typologies



5.9 House typology guidelines

5.9.1 Description

- The House building typology exists in three forms within the masterplan - either as;
 - A run of Terraced, standalone houses;
 - A run of Terraced Houses bounding the edge of a Podium building typology; or
 - Infill elements of typically two, three or four Townhouses between Linear gables of a Courtyard assembly.
- **The alignment of the houses must respond to their position in the masterplan and the guidance identified for the respective sub-types.**
- Where houses bound onto a Podium, the ground floor storey will be taller to accommodate amenity for the houses at the level of the podium.

5.9.2 Locations

- Terraced Houses can be oriented in any direction and are located within Plots A, F, J, P, and Q.
- Townhouses are oriented only in a north:south direction and are located within Plots D, E, G and H.
- Terraced Houses are solely located within stitching settings and mediate between the surrounding residential context and the redeveloped Cambridge Road Estate.
- Townhouses are distributed throughout the masterplan within the Courtyard assembly blocks.

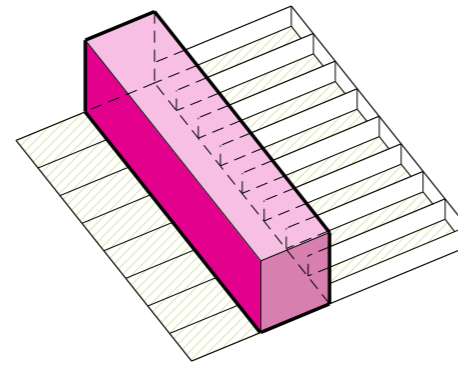


Figure 5.87: Standalone run of Terraced Houses.

5.9.3 Configuration - Generic guidance

- **All house types must be configured to be dual aspect and consideration given to avoid overlooking to or from neighbouring properties.**
- Within the context of the masterplan the gable ends are equally as important as the primary flank façades, and present an opportunity to turn the primary façades around the corner to define spaces off the main north:south axes.
- **Designers should refer to the guidance elsewhere for details which relate to the Podium, Courtyard and Linear typologies which bound other elevations of the plinth. Refer to Sections 5.5 to 5.8.**

5.9.4 Configuration - Standalone Terraced Houses

- The Terraced house typology comprises of a number of adjoining, side-by-side dwellings.
- **Each house within a Terrace must be configured as an individual, multi-storey dwelling.**
- Typically Terraced Houses will be three storey properties with demised amenity space to the front and rear.
- **A run of houses must be unified as a single element.**
- A run of Terraced Houses can be oriented either east:west or north:south.



Figure 5.88: Distribution of Houses within the masterplan.

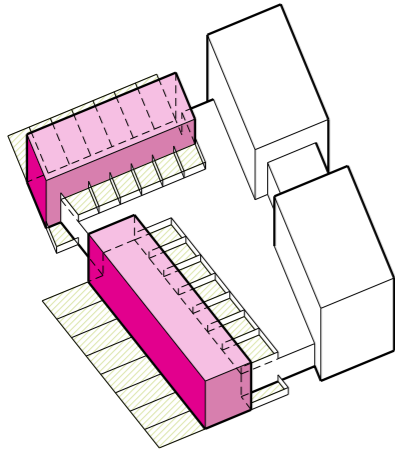


Figure 5.89: Terraced Houses adjoining Courtyard assembly.

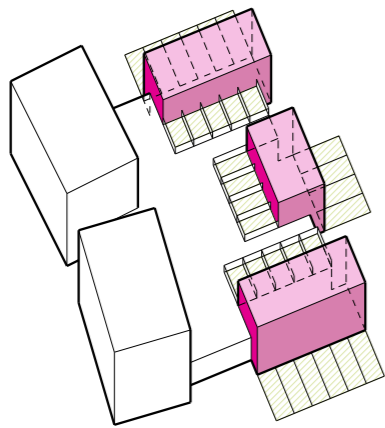


Figure 5.90: Terraced Houses adjoining Courtyard assembly.

5.9.5 Configuration - Terraced Houses bounding a Podium

- This typology of houses differs from typical Terraced Houses only in that they are configured to back onto a podium element.
- **Designers must follow guidance identified for the standalone Terraced house except where specific guidance to this sub-typology is described.**
- **The Central amenity space between the rear of Terraced Houses and other building elements which comprise a Podium assembly must be a minimum of 18.0m wide across the majority of its length when measured from the building lines.**

5.9.6 Configuration - Townhouses

- **Townhouses comprise of a few independent adjoining dwellings incorporated into the north or south elevation of Courtyard typologies.**
- Townhouses should be designed as two, three or four storey dwellings.
- Pairing of dwellings is preferable as this provides parity of adjacent products.
- **The Townhouse typology must never comprise of a single dwelling.**
- The number of adjacent dwellings in Townhouses run should not exceed 4x No. homes.
- Where possible the corners of the Townhouse run could be exploited and dual aspect corners incorporated.
- Townhouses are located on the north or south façades of Courtyard blocks - between the Linear elements.

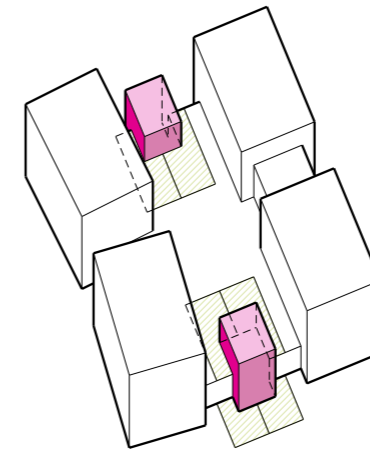


Figure 5.91: Townhouses within a Courtyard assembly.

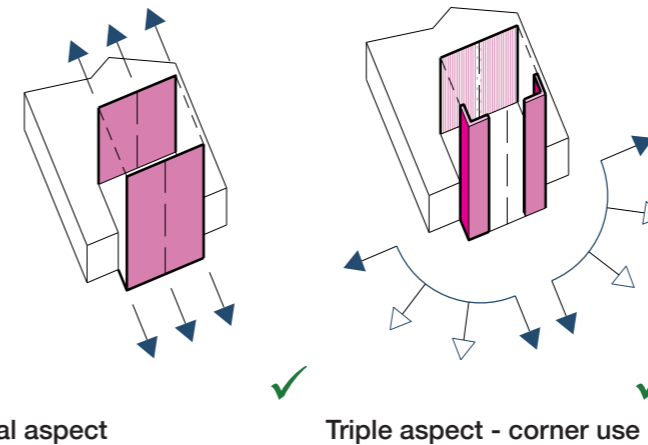


Figure 5.92: Interface between Townhouses and other buildings masses.

- **Townhouses must only be oriented to face in a north:south direction.**
- A front garden should be provided to Townhouses and where possible provision made for demised, off-street parking in front of the property.
- **A series of private gardens must be provided to the rear of the Townhouses at podium level.**
- Designers are encouraged to incorporate Terraces on the second floor.
- Private amenity including Terraces and gardens should where-ever possible be organised to maximise exposure to the south.
- Private rooftop amenity should incorporate screening to provide privacy from overlooking of adjacent dwellings - for example in the form of pergolas.
- The roof of Townhouses should not solely be given over as a private Terrace for the dwelling.
- The upper roof top of Townhouses should incorporate areas of biodiverse roof.

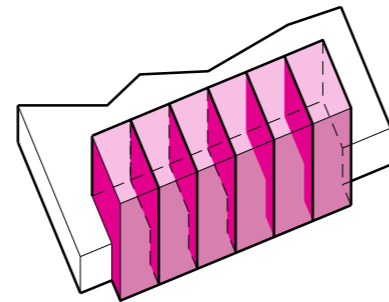
5.0 Building Guidelines

House typologies

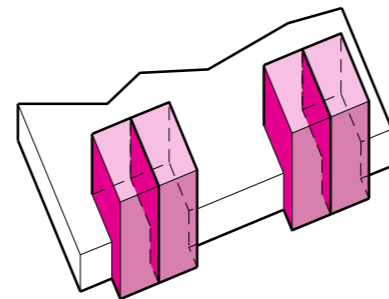


5.9.7 Typology massing - Generic guidance

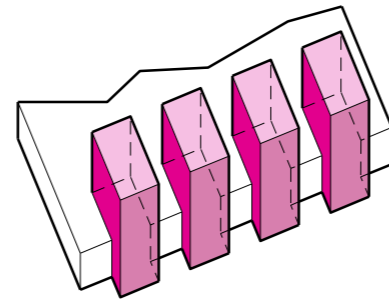
- **All House typologies (Terraced runs and Townhouses) must be expressed as a unified mass.**
- **Where Terraced Houses bound multiple façades of a Podium (e.g. north, east and west) these must be expressed as an individual volumes.**
- **Terraced Houses must not line the perimeter of a plinth uninterrupted.**
- **A break should be incorporated between runs of Terraced Houses and other typologies.**
This could be a full separation or an opening in a screen which facilitates view of or from the plinth.
- Designers can, use massing to identify individual dwellings within a run, or mark the ends of runs.
- **It is important that houses form a composition of elements which line a street and therefore breaks at grade between individual dwellings or pairs of dwellings are prohibited.**



A single mass - attached run of individual dwellings



Multiple masses - paired dwellings

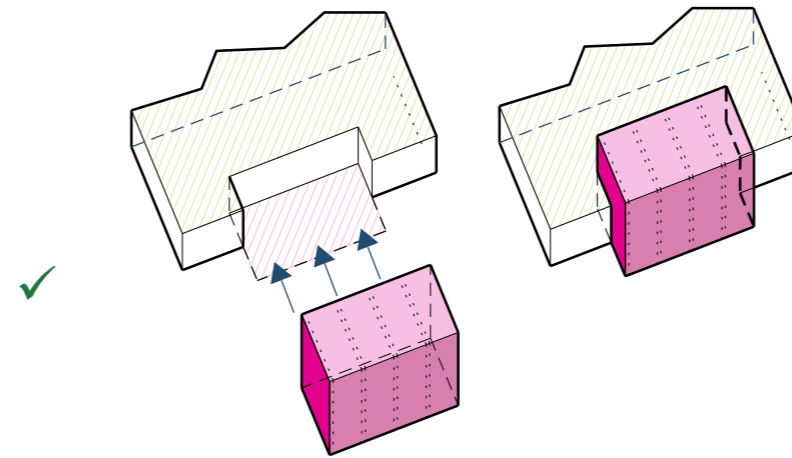


Multiple masses - Detached dwellings

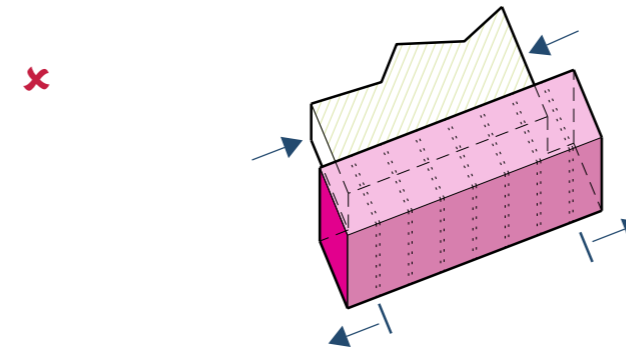
Figure 5.93: Massing and permitted configuration of house typologies.

5.9.8 Typology massing - Specific guidance - Terraced Houses integrated into a Podium

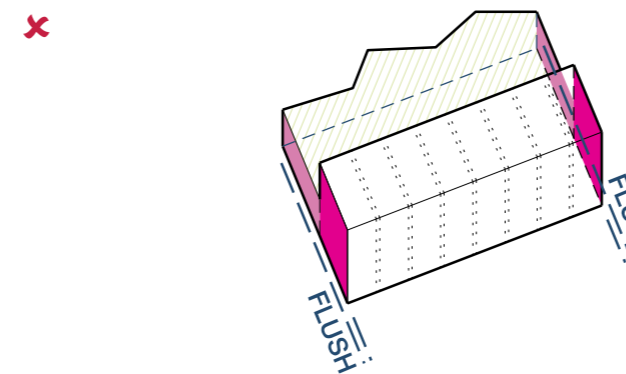
- Designers should refer to guidance in Section 5.8 (Podium assembly) for details concerning the mass articulation of the building typology.
- The adjacent diagrams (Fig. 5.93 to 5.95) describes additional guidance which specifically relate to the massing of the Terraced Houses within the base component.
- The mass of the Terraced Houses should be articulated as either an;
 - extension of the plinth element; or
 - an independent element which intersects with the base element.
- The gable end of the Terraced Houses should extend beyond the building line of the base element in a north:south direction.



A single mass inserted into the flank of a courtyard plinth

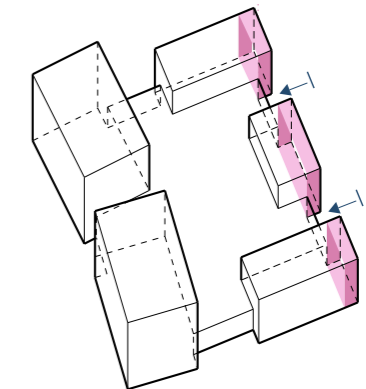


Gable ends of Terrace extend beyond courtyard plinth

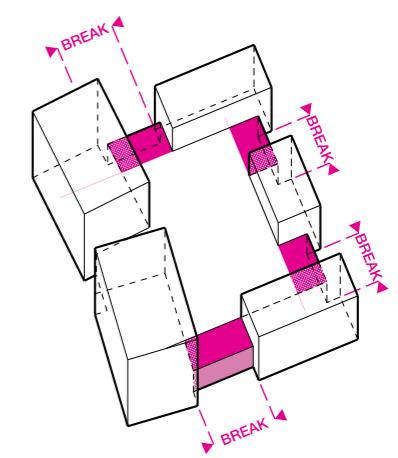


Gable ends of Terrace is parallel with the courtyard plinth

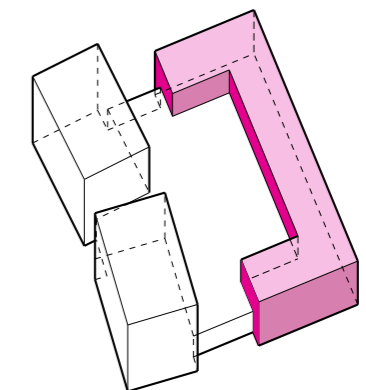
Figure 5.94: Massing configuration of Terraced Houses.



Gable ends of Terraced houses to extend beyond plinth



Runs of Terraced houses must be independent and split



Continuous perimeter of houses lining a courtyard plinth

Figure 5.95: Massing configuration of Terraced Houses bounding a plinth.

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text



5.0 Building Guidelines

House typologies

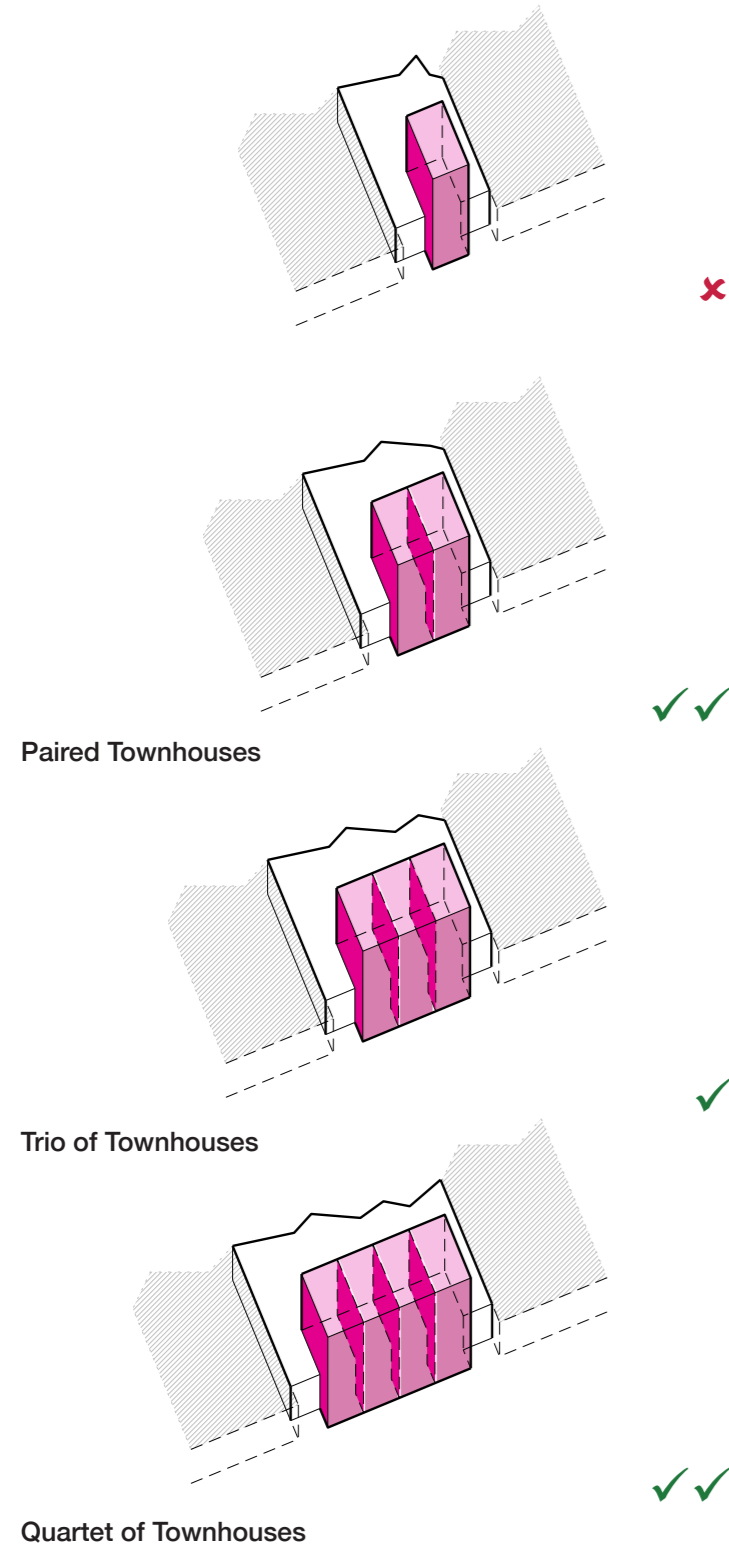


Figure 5.96: Massing configuration of Townhouses.

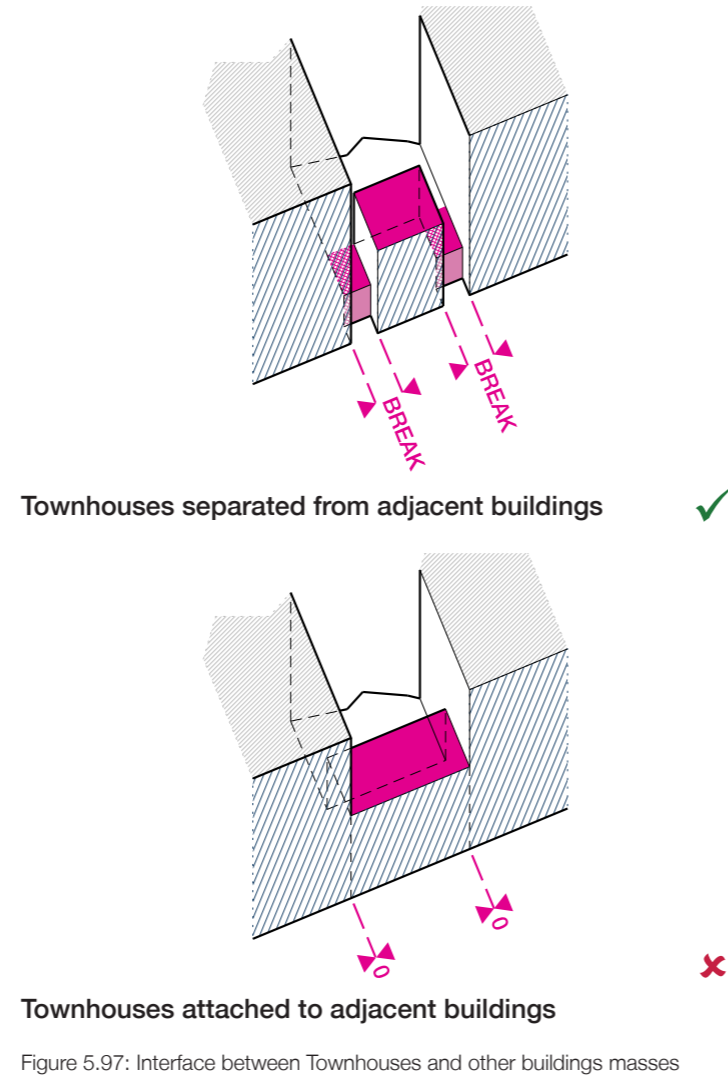


Figure 5.97: Interface between Townhouses and other buildings masses

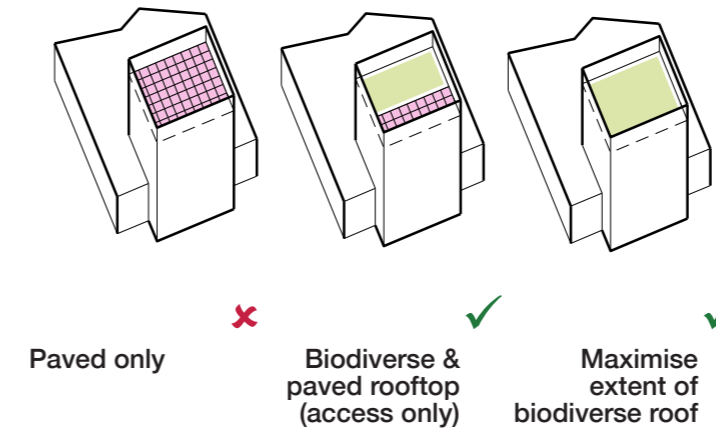


Figure 5.98: Configuration of Townhouse roofs.

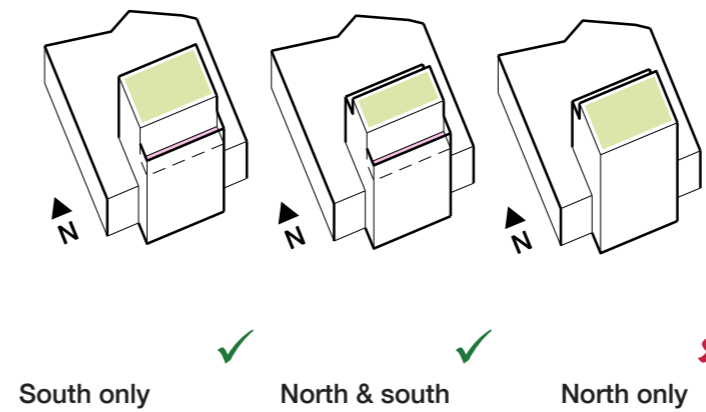


Figure 5.99: Orientation of private Terraces to Townhouses.

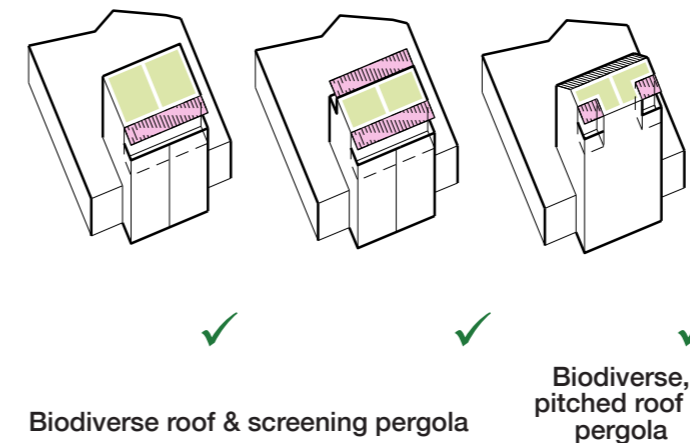


Figure 5.100: Roof top Townhouse amenity.

5.9.9 Typology massing - Specific guidance - Townhouse massing

- The adjacent diagrams (Fig. 5.96 to 5.100) describes additional guidance which specifically relate to the massing of the Townhouses.
- Townhouses must be grouped together as a single mass** (Fig. 5.93).
- Townhouses must not infill the full width of the Courtyard between Linear buildings** (Fig. 5.97).
- There must be a break between the Townhouses and the Linear building elements - they cannot be conjoined** (Fig. 5.97).
- The front façade of the Townhouses must be expressed forward of the base element by recessing the plinth between the primary blocks but must not sit further forward of the primary block gable ends.**
- Roof Terraces should be incorporated at upper levels of Townhouses to provide supplementary private amenity (Fig 6.98 to 5.100).
- Where roof Terraces are incorporated these should where practicable be oriented to the south elevation and away from the north (Fig 5.99)
- Positioning Terraces at high level on the east or west elevations of Townhouses are discouraged - overlooking and proximity issues between dwellings and private amenity spaces are to be avoided.

5.0 Building Guidelines

House typologies

5.9.10 Base of the building - Standalone Terraced Houses

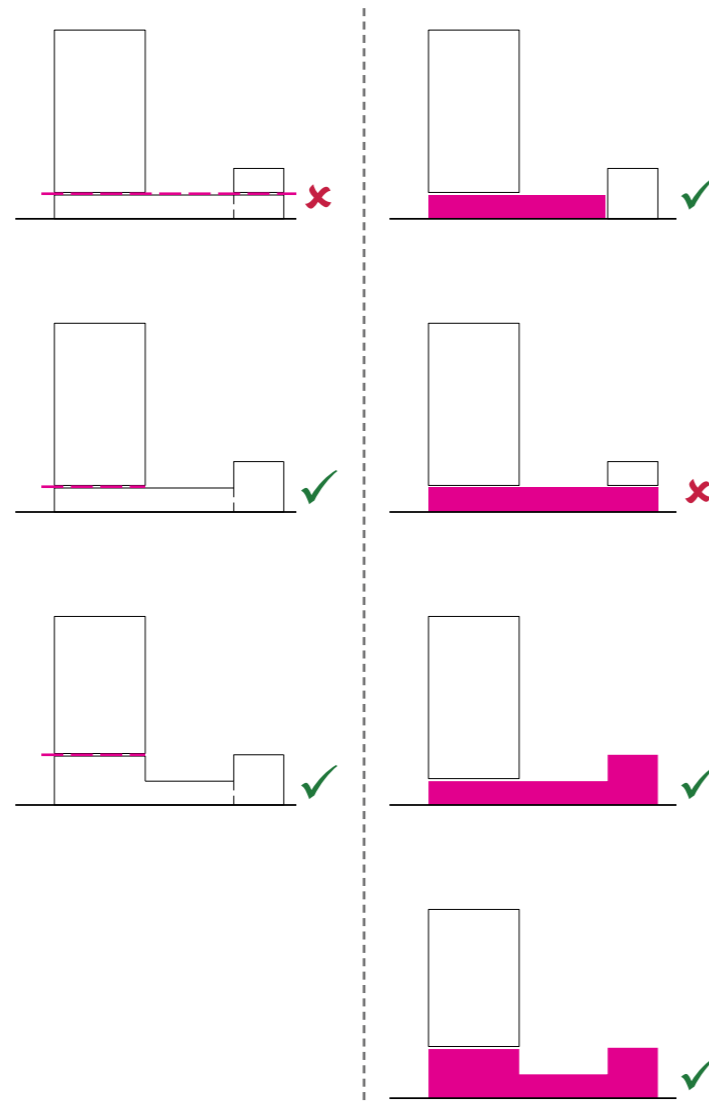
- Designers are not required to identify a datum or plinth element to standalone houses.

5.9.11 Base of the building - Terraced Houses integrated into a courtyard

- Designers should refer to guidance in Section 5.8 (Podium assembly) for details concerning the Base of the building.
- The adjacent diagrams (Fig. 5.101 and 5.102) describe additional guidance which specifically relate to the interface of the Terraced Houses with the base component.
- The Terraced element must not be dissected by a datum or expressed with a plinth. The vertical nature of each unit must take precedence over an arbitrary horizontal line.**
- The Terraced element could however be expressed as an extension / continuation of the plinth sharing the same materiality and expressed as a two / three storey element within a stepping plinth.

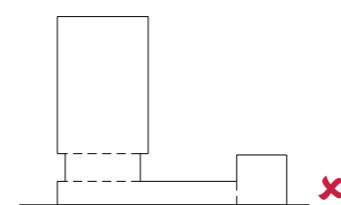
5.9.12 Base of the building - Townhouses

- Designers should refer to the guidance in Section 5.9.15 ('Townhouse articulation') which describes how the houses should interface with the base.



Mark or check line

Material / colour difference



Recessed storey level



Storey height material / colour difference

Figure 5.101: Permissible mark / check line above base element.

Figure 5.102: Permissible application of material / colour difference.

5.9.13 Articulation - Generic guidance

- The bulk of the house typology and other smaller scale buildings are located within the stitching settings; bounding domestic streets and green spaces.
- The articulation of houses should be designed with a higher finer granularity and higher level of detail that larger typologies.
- Incorporating a higher level or detail provides stimulation and generates additional townscape interest which is best appreciated from within these 'resting' settings
- Each individual dwelling within the run of houses must remain distinguishable as an individual home and identifiably distinct from its neighbour.**
- It is important that residents can identify their home and demise as an individual entity - an example is shown in Fig. 5.103.

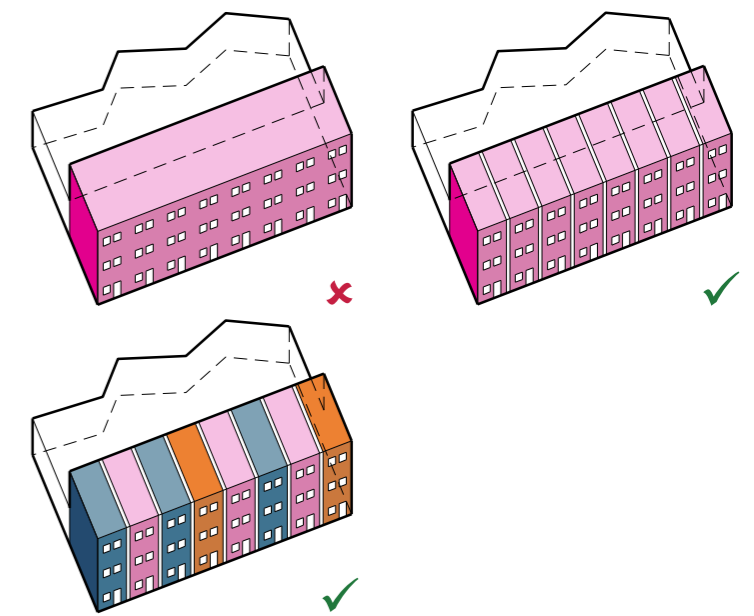


Figure 5.103: Application of individuality to terraced house frontages

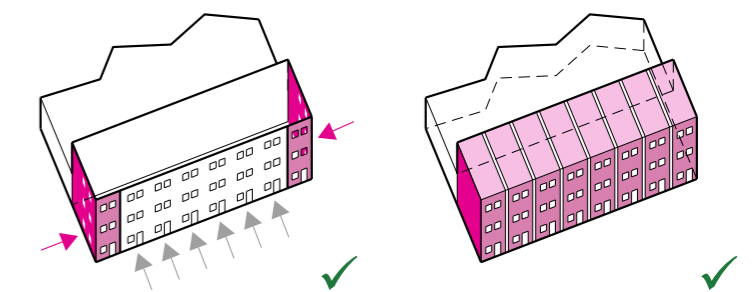


Figure 5.104: Articulation of gable ends to Terraced Houses.

5.9.14 Articulation - Specific guidance - Terraced Houses

- It must be possible for each of the Terraced Houses to be read as separate demises. A vertical line, check or other such marker must be incorporated to distinguish the ownership separation.** This separation should be harmonious with the design, colour and configuration of the Townhouse and must not be read as the dominant feature (Fig. 5.103)
- The Terraces should have a commonality and shared datum across the body of the Terrace and be expressed similarly.
- Individual homes within a run of Terraces can accommodate a large degree of individuality, different massing, storey heights and roof forms are permissible should this be desirable (refer to Fig. 5.109).



Figure 5.105: Precedent images of individualised identities
Holmes Road Studios - Kentish Town - London - Peter Barber Architects.
Marmalade Lane Co-housing - Cambridge - Mole Architects

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text

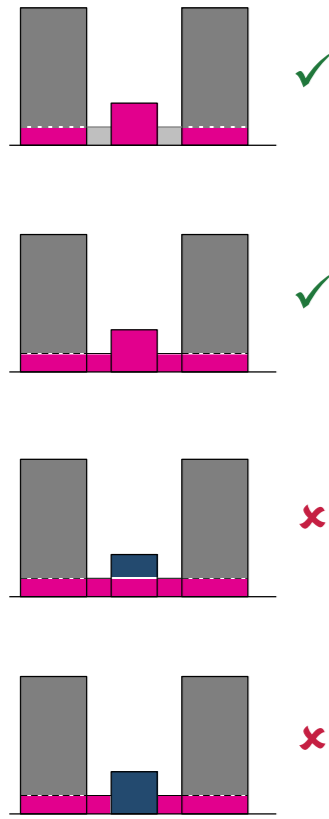


Figure 5.106: Section diagrams: expression of infill Townhouses.

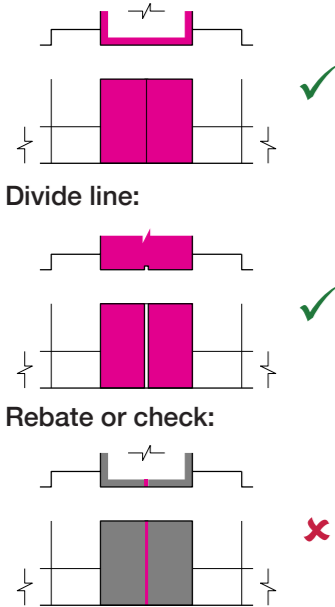


Figure 5.107: Elevation diagrams: Defining the infill Townhouses.

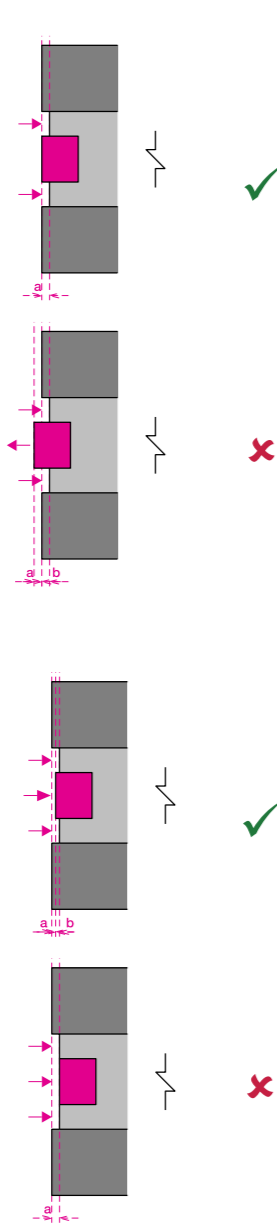


Figure 5.108: Plan diagrams: Massing expression of infill Townhouses.

- Within the context of the masterplan the gable ends are equally as important as the primary façades and present an opportunity to turn the primary façades around the corner to define spaces off the main north:south settings (refer to Fig. 5.104).

- Fenestration should be applied to the gable end façades in addition to the prime façade as a variation on the typical Terraced unit to increase interest at a townscape level.

5.9.15 Articulation - Specific guidance - Townhouse articulation:

- **The colour and materiality of the infill Townhouses must not split the integrity of the base element** (refer to Fig. 5.106).
- **The Townhouses must be articulated as a composition of at least two and must share articulation and form across the houses.**
- **It must be possible for each of the Townhouses to be read as separate demises. A vertical line, check or other such marker must be incorporated to distinguish the ownership separation. This separation should be harmonious with the design, colour and configuration of the Townhouse and must not be read as the dominant feature** (Fig. 5.107)
- **The multi-storey form of the Townhouse must be expressed as a single, discrete unit when viewed from the street.**
- **Townhouses must, in part, remain expressed as a continuation of the base - either through expression, form or colour** (refer to Fig. 5.106).
- The recess between the primary block gable end and Townhouse façade should be used to accommodate demised parking and /or provide servicing access to the uses within the plinth.

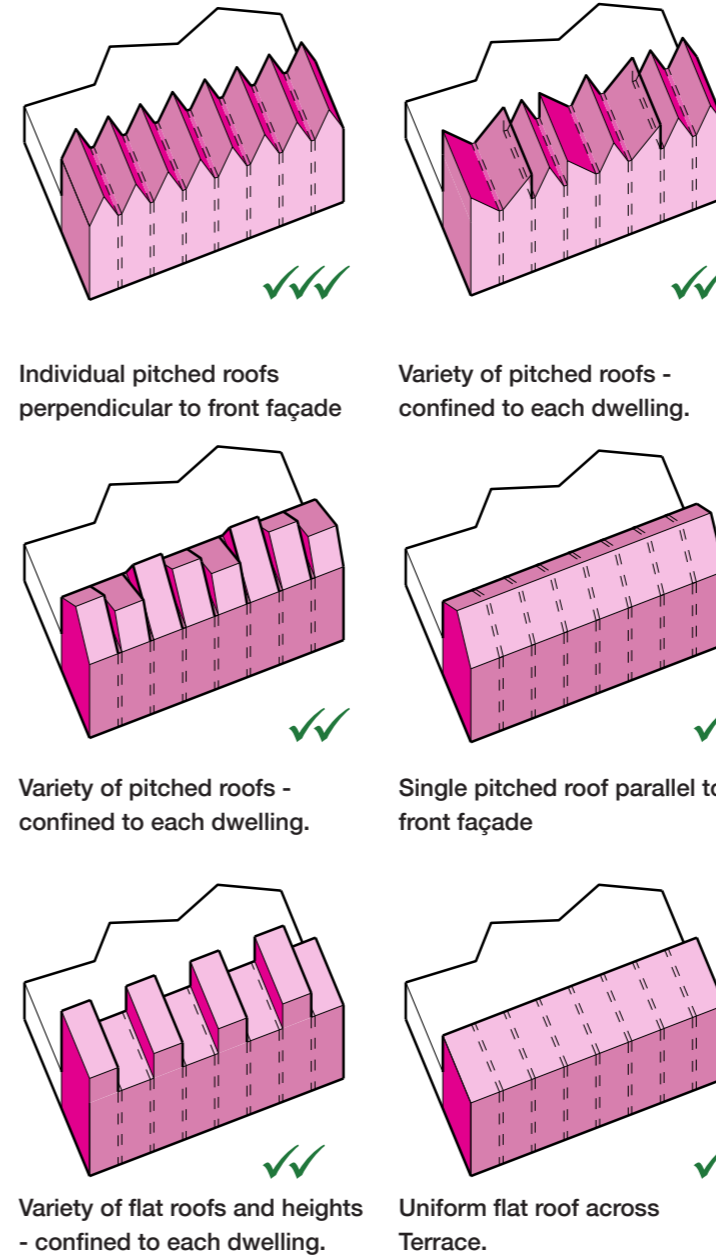


Figure 5.109: Hierarchy of roofscape articulation.

5.9.16 Roof articulation - Generic guidance:

- The scale of houses and proximity to the streetscape offers the opportunity to articulate the roofscape of these typologies.
- Articulating the roofs is a successful method to lace the proposed masterplan and local context together; mediating between the domestic scale and the denser urban core.
- The creative articulation of house roofs should be used to provide additional interest and variation within the masterplan.

5.9.17 Roof articulation - Specific guidance - Terraced house roof articulation:

- The roofs of the Terraced Houses should be articulated to provide sufficient interest from the street and the podium garden behind.
- The Terraced homes will have a relationship with the similar scale existing context in Stitching settings.
- The roof articulation can include pitched roofs and could share a form from dwelling to dwelling or be a combination of roof forms. Refer to Fig. 5.109.
- A sculpted roof can incorporate a change in material from the body of the podium or can be a continuation of the façade purely differentiated by the expression of a three-dimensional form.
- The profile of the roofscape should not negatively impact the quality of the central amenity space or daylight on plinth level.
- Precedent images shown in Section 5.9.25 show a variety of buildings which follow the principles set out for this typology in the Design Guidelines.

5.0 Building Guidelines

House typologies



5.9.19 Roof articulation - Specific guidance - Townhouse typology

- **There is flexibility to use a variety of roof types and articulate the tops of the Townhouses in methods other than flat roofs, however:**
 - **The profile must not negatively impact the quality of the central amenity space or daylight on plinth level.**
 - Where infill houses are positioned on opposite sides of a street (on different plots) the roof profile should have design parity or be similarly expressed.
- Roof profiles can be flat, pitched or articulated to increase presence on street or provide townscape interest (refer to Fig. 5.110).
- **Pitched roofs must not rise up towards the central amenity space.**
- Sample examples are illustrated in Section 5.9.26.

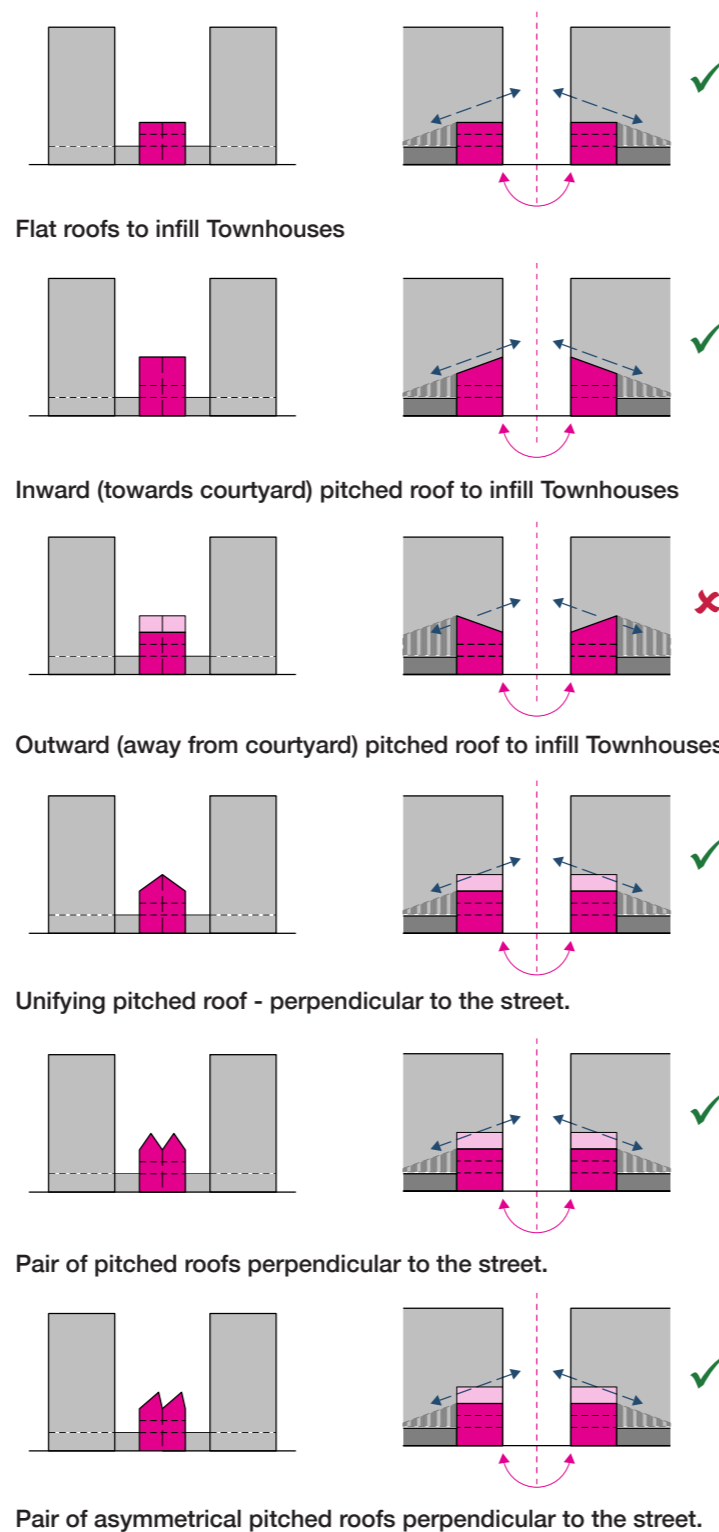


Figure 5.110: Section diagrams: roof expression of infill Townhouses.

5.9.18 Residential street frontages

- The main entrances should comply with the intent illustrated in drawing: 503-PTA-MP-XX-DR-A-5402.
- **Single residential entrances must be provided to houses directly from the primary façade.**
- **Car parking, cycle access and plinth services entrances are to be integrated with the design of the façades and are not be read as a secondary or back of house entrance.**
- Private front gardens are to have a boundary configuration with edge planting as described in Chapter 4.
- Private front gardens should be provided with additional planting (inside the demise line) to provide further screening to the apartments.
- **Where front gardens are provided, the enclosure for refuse and bicycle storage must be incorporated within the design of this element.**
- **Where doorstep servicing is not provided to houses, access to the communal parking, refuse stores and lobbies must be provided.**
- Private front gardens can be provided with additional planting (beyond the edge planting) to provide further screening to homes.
- **The streets must be in keeping with the Character Area Guidelines for relevant settings.**
- **There must be no balconies facing the street front.**

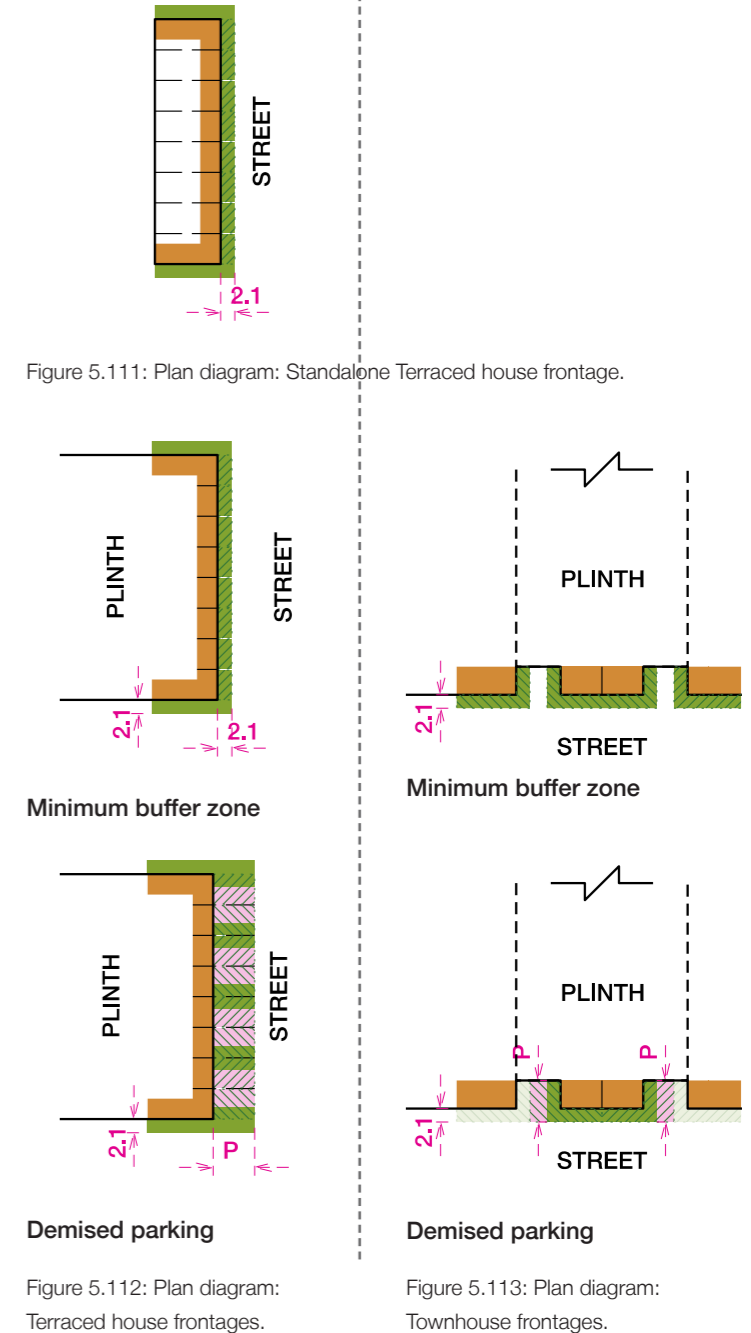


Figure 5.111: Plan diagram: Standalone Terraced house frontage.

Figure 5.112: Plan diagram: Terraced house frontages.

Figure 5.113: Plan diagram: Townhouse frontages.

- Legend:
- Private amenity / Gardens
 - Shared amenity
 - Illustrative buffer zone / Private amenity
 - Demised off-street parking
 - Predominantly residential frontages
 - Illustrative buffer zone

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text



5.0 Building Guidelines

House typologies

5.9.20 Street access - Generic guidance

- The main entrances should comply with the intent illustrated in drawing: 503-PTA-MP-XX-DR-A-5402.
- **Single residential entrances must be provided to houses directly from the primary façade.**
- **Ground floor homes must have front door access from the public realm.**
- **Car parking, cycle access and plinth services entrances are to be integrated with the design of the façades and are not be read as a secondary or back of house entrance.**
- Demised car-parking areas adjacent to or in front of the individual dwelling should be provided where possible and access permitted across the public realm.
- The street frontage to the Terraced Houses should comprise of front gardens within which a demised car parking space is accommodated.
- **Where access to demised parking is required over a footpath, the surface material of the footpath must be consistent as illustrated in Fig. 5.119.**
- **The streets must be in keeping with the Character Area Guidelines for relevant settings.**
- Levels along sloping streets can vary in response to landscape or building design.

However, careful consideration should be given to levels of adjacent single residential entrances and parity achieved when the entrances are paired.

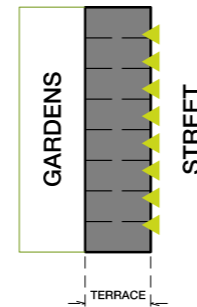


Figure 5.114: Plan diagram: Ground floor access - Standalone Terraced Houses.

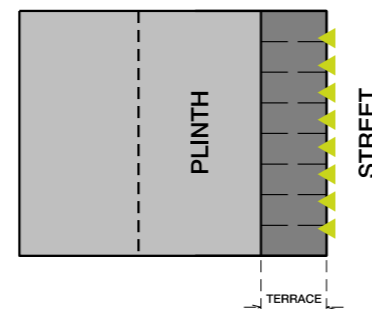


Figure 5.115: Plan diagram: Access to Terraced Houses & plinth typology.

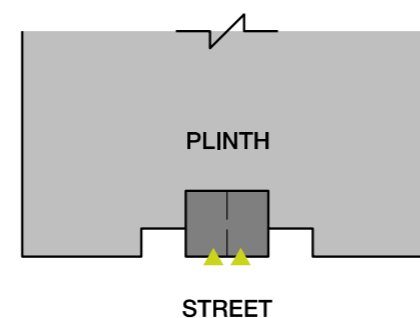


Figure 5.116: Plan diagram: Access to Townhouse typology.

Legend:

- ▲ Single residence entry
- ▲ Non-residential entrance
- ▲ Shared residence entry
- ▲ Car-park entry

- House typologies should be individual demises with no need to access the common parts of the Linear buildings or parking below the Podium.
- **Residential entrances to individual dwellings must be provided to the Townhouses and Terraced Houses directly from the primary façade.**
- Designers could consider pairing dwelling entrances together.

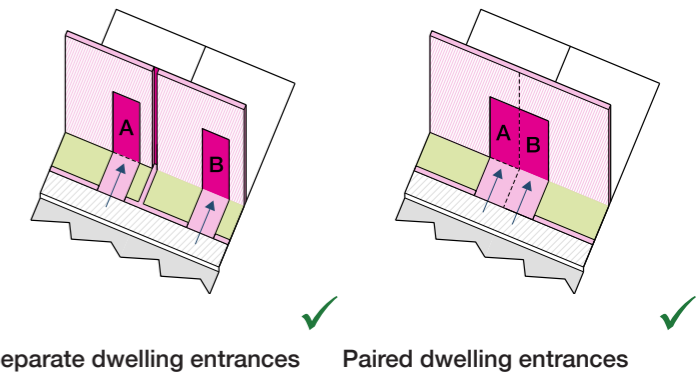


Figure 5.117: Entrances to housing typology dwellings.



Figure 5.118: Contextual influence - local examples of paired entrance.

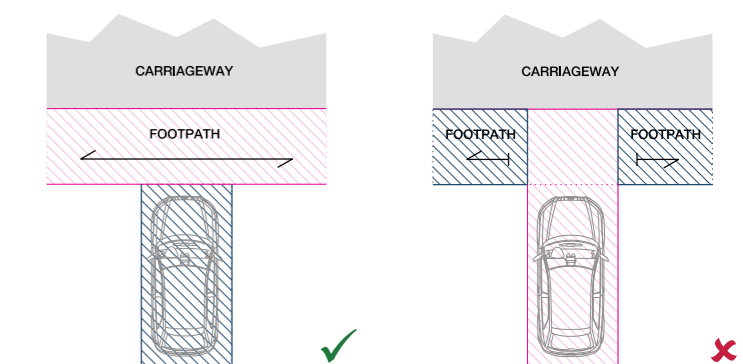


Figure 5.119: Diagram illustrating permitted material configuration between demised parking and the pedestrian footpath.

5.0 Building Guidelines

House typologies



5.9.21 Secondary frontages - Private amenity at grade

- **Gardens must be provided to the rear or side of standalone Terraced Houses which have accommodation at ground level.**
- Gardens to Terraced housing should have a minimum depth of 4m deep and comprises of a mix of hard, soft and planted space.
- Private rear or side gardens at grade should be enclosed by a perimeter wall.
- **Private rear or side gardens at grade must not be enclosed by timber fencing where this lines of bounds onto public settings.**
- Designers should design the garden enclosure as an extension of the building fabric and integrated into the façade design of houses.

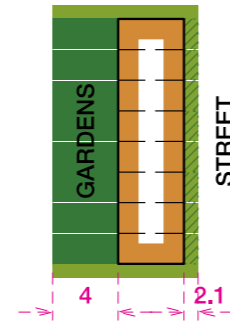


Figure 5.120: Plan diagram: Ground floor frontages behind Terraced Houses



Figure 5.123: Precedent - Integrated garden walls, gates and screening
Courtyard Housing - Barking - London - Patel Taylor

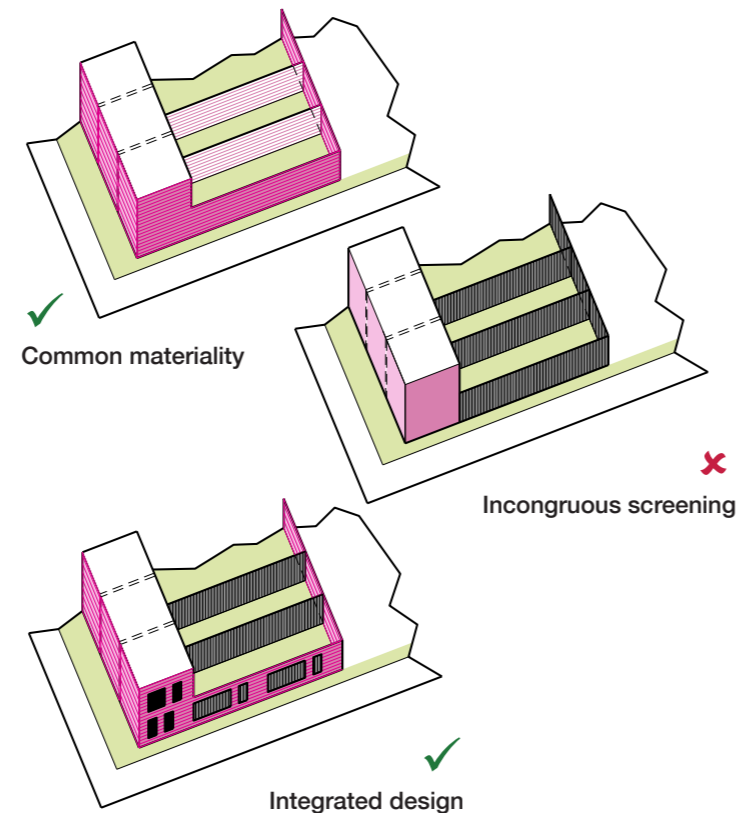


Figure 5.124: Configuration of garden enclosures

5.9.22 Secondary frontages - Private amenity at podium level

- Designers should refer to guidance in Section 5.8 (Podium assembly) for details concerning the podium garden frontage and access to the Linear building elements.
- The adjacent diagrams (Fig. 5.121 and 5.122) describe additional guidance which specifically relate to the interface of the Townhouses & Podium bounding Terraced Houses.
- **Townhouses or Terraced houses which have a frontage onto the podium gardens must have a private amenity space comprising a mix of hard landscape and soft planting.**
- **A buffer planting zone must be provided between the private amenity space and the communal amenity space** (refer to Fig. 5.121 and 5.122).
- **The boundary between the private amenity spaces and the Podium must be marked by a consistent railing of a maximum of 1.1m high.** Refer to Section 6.11 for further details.
- Podium-level private amenity spaces to houses should be a minimum of 4m deep.

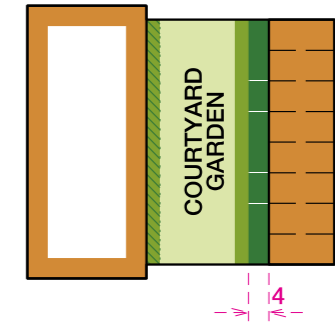


Figure 5.121: Plan diagram: First floor frontages behind Terraced Houses.

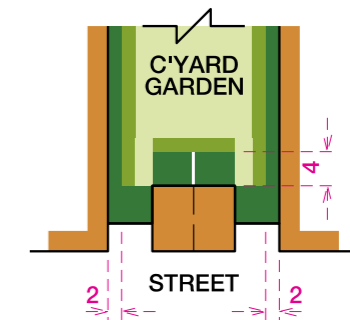


Figure 5.122: Plan diagram: First floor frontages behind Townhouses.

Legend:

	Illustrative buffer zone / Private amenity		Illustrative buffer zone
	Predominantly residential frontages		Private amenity / Gardens
	Shared amenity		

Coding legend: Mandatory instructions: **Black bold underlined letters** | Non-mandatory instructions (guidance): bold grey letters | Notes: normal text

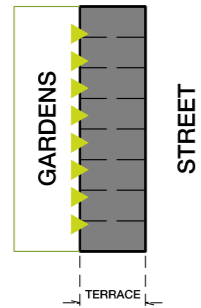


Figure 5.125: Plan diagram: Ground floor frontages behind Terraced Houses.

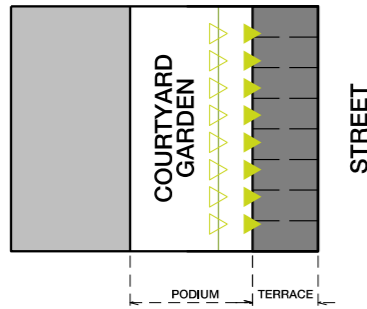


Figure 5.126: Plan diagram: First floor frontages behind Terraced Houses.

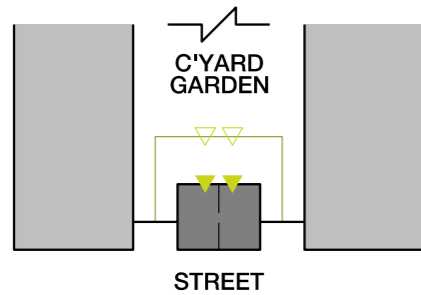


Figure 5.127: Plan diagram: First floor frontages behind Townhouses.

Legend:

-  Single residence entry
-  Podium access

5.9.23 Secondary Access - Garden guidance

- **Direct access from the individual dwelling within a run of Terraced housing must be provided to the rear garden or amenity space dedicated for use by that dwelling** (refer to Fig. 5.125).
- Shared passageways which run behind a run of Terraced Houses and which provide rear access to gardens for servicing should be avoided where there are security or management concerns.
- Access out from rear gardens or amenity spaces which directly bound the public realm and are on façades which are not overlooked should be avoided.
- The design of access points into private gardens or amenity spaces must be carefully considered and integrated into the design of the enclosure (Fig. 5.128 and 5.129).



Figure 5.128: Integrated design of garden screening
Goldsmith Street – Norwich - Mikhail Riches.



Figure 5.129: Rear access private gardens to be carefully designed
Goldsmith Street – Norwich - Mikhail Riches.

5.9.24 Secondary Access - Podium access

- The adjacent diagrams (Fig. 5.126 and 5.127) describe additional guidance which specifically relate to the interface of the Terraced Houses with a Podium assembly.
- **Direct access from the individual dwelling, whether Terraced housing or infill Townhouses must be provided to the podium garden.**