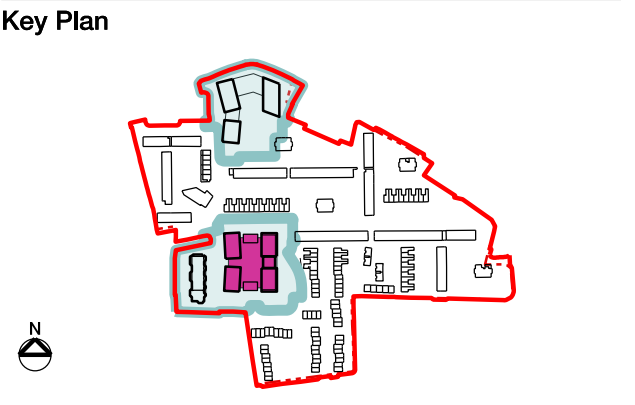


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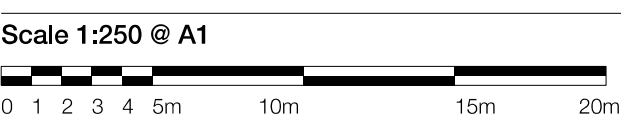


- Material key (Building E)**
- A. White brick
  - B1. Buff brick type 1
  - B2. Buff brick type 2
  - B3. Buff brick type 3
  - B4. Buff brick type 4
  - C. Dark brick
  - D1. Red brick type 1
  - D2. Red brick type 2
  - D3. Red brick type 3
  - D4. Red brick type 4
  - D5. Red brick type 5
1. Stretcher bond brickwork
  2. Soldier course brickwork
  3. Stack bond brickwork
  4. Bonded soldier course brickwork
  5. Recessed brickwork
  6. Recessed brickwork
  7. Rusticated brickwork
  8. Striped band brickwork
  9. Masonry string course
  10. Entrance canopy and surround
  11. Entrance cladding
  12. Rainscreen cladding
  13. Perforated metal canopy system
  14. Metal surround to double height entrances
  15. Metal-faced outward opening window
  16. Integrated ventilation panel with metal perforated screen
  17. White masonry sill
  18. Coloured masonry
  19. Metal flashing
  20. Metal perforated screen door
  21. Metal-faced external door system
  22. External door to ground floor homes
  23. Metal pocket balustrade
  24. Brick topped with metal balustrade
  25. Perforated metal balustrade
  26. 1500mm High balcony balustrade (wind mitigation)
  27. Metal, mid bronze-coloured fascia and soffit
  28. Metal, mid bronze-coloured fascia and soffit
  29. Metal, light bronze-coloured fascia and soffit
  30. Recessed soffit to match brickwork colour
  31. Masonry coping
  32. Rainscreen cladding parapet
  33. Masonry parapet capping
  34. Metal parapet
  35. Metal plant screen
  36. Metal entrance gates



**01 Section/Elevation E-E (west elevations of E2 & E3)**  
Scale 1:250

**02 Section/Elevation F-F (east elevations of E1 and E4)**  
Scale 1:250



**Issue Record**

Issue	By	Chk	Date	
PL3	For Planning Approval	NE	RM	01.04.2021
PL2	For Information	NE	RM	30.03.2021
PL1	For Planning Approval	CW	NE	13.11.2020

**Title**  
Building E  
Section Elevations E-E, F-F

**Project**  
Cambridge Road

**Scale**  
1:250 @ A1      1:500 @ A3

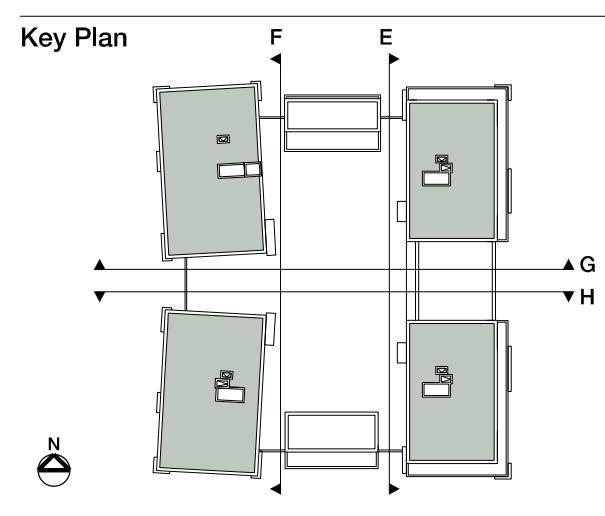
**Status**  
For Planning Approval

**Drawing Number**      **Revision**  
503-PTA-EZ-ZZ-DR-A-1921      PL3

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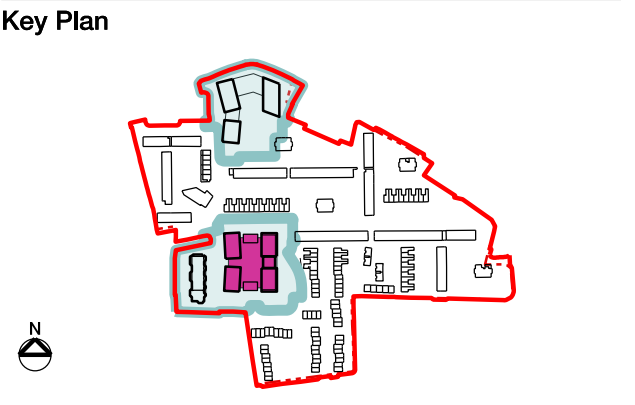
**Drawing Notes**

**Rainwater drainage**  
Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.  
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

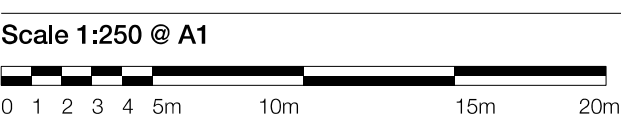




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- Material key (Building E)**
- A. White brick
  - B1. Buff brick type 1
  - B2. Buff brick type 2
  - B3. Buff brick type 3
  - B4. Buff brick type 4
  - C. Dark brick
  - D1. Red brick type 1
  - D2. Red brick type 2
  - D3. Red brick type 3
  - D4. Red brick type 4
  - D5. Red brick type 5
1. Stretcher bond brickwork
  2. Soldier course brickwork
  3. Stack bond brickwork
  4. Bonded soldier course brickwork
  5. Recessed brickwork
  6. Rusticated brickwork
  7. Striped bond brickwork
  8. Striped bond brickwork
  9. Masonry string course
  10. Entrance canopy and surround
  11. Rainscreen cladding
  12. Perforated metal canopy system
  13. Metal surround to double height entrances
  14. Metal-faced outward opening window
  15. Integrated ventilation panel with metal perforated screen
  16. White masonry sill
  17. Coloured masonry sill
  18. Metal flashing
  19. Metal perforated screen door
  20. Metal-faced external door system
  21. External door to ground floor homes
  22. Metal pocket balustrade
  23. Brick topped with metal balustrade
  24. Perforated metal balustrade
  25. 1500mm High balcony balustrade (wind mitigation)
  26. Metal, mid bronze-coloured fascia and soffit
  27. Metal, light bronze-coloured fascia and soffit
  28. Metal, mid bronze-coloured fascia and soffit
  29. Metal, light bronze-coloured fascia and soffit
  30. Rendered soffit to match brickwork colour
  31. Masonry coping
  32. Rainscreen cladding parapet
  33. Masonry parapet capping
  34. Metal parapet
  35. Metal parapet
  36. Metal parapet
  37. Metal entrance gates



**Issue Record**

Issue	By	Chk	Date
PL3 For Planning Approval	NE	RM	01.04.2021
PL2 For Information	NE	RM	30.03.2021
PL1 For Planning Approval	CW	NE	13.11.2020

**Title**  
 Building E  
 Section Elevations G-G, H-H

**Project**  
 Cambridge Road

**Scale**  
 1:250 @ A1      1:500 @ A3

**Status**  
 For Planning Approval

**Drawing Number**      **Revision**  
 503-PTA-EZ-ZZ-DR-A-1922      PL3

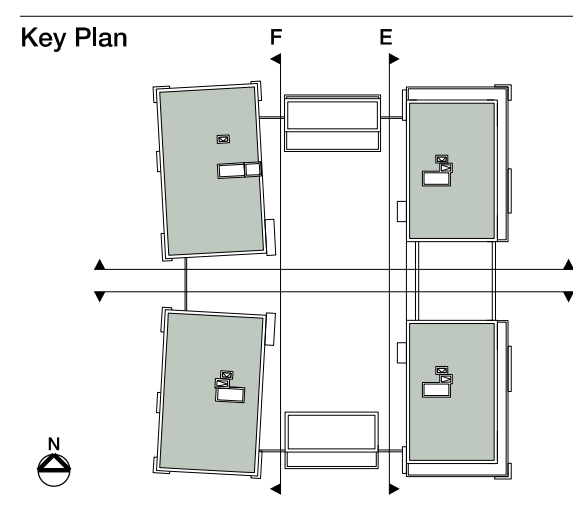
Patel Taylor  
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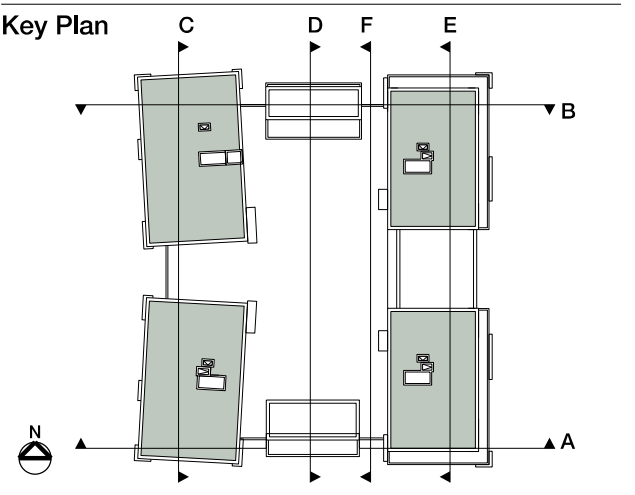
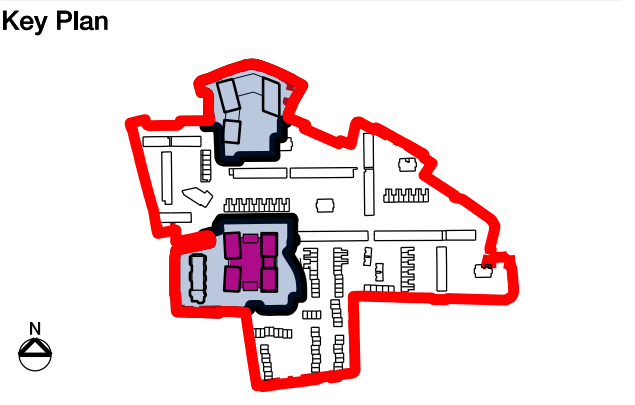
**01 Section/Elevation G-G (south elevations of E1 & E5)**  
 Scale 1:250

**02 Section/Elevation H-H (north elevations of E6 and E4)**  
 Scale 1:250

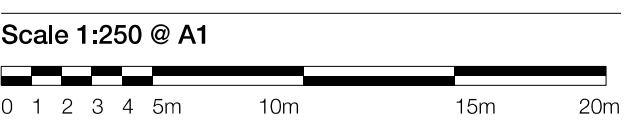
**Drawing Notes**  
**Rainwater drainage**  
 Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.  
 Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition



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Social Rent	Shared Equity	Private
1B2P	1B2P	1B2P
2B3P	2B3P	2B3P
2B4P	2B4P	2B4P
3B4P	3B4P	3B4P
3B5P	3B5P	3B5P
3B6P	3B6P	3B6P
4B5P		
4B6P	4B6P	4B6P
4B7P	4B7P	4B7P
4B8P	4B7P	4B7P
5B6P		
5B8P		
6B10P		



**Issue Record**

By	Chk	Date	
PL2	NE	RM	30.03.2021
PL1	CW	NE	13.11.2020

**Title**  
 Building E  
 Sections A-A, B-B

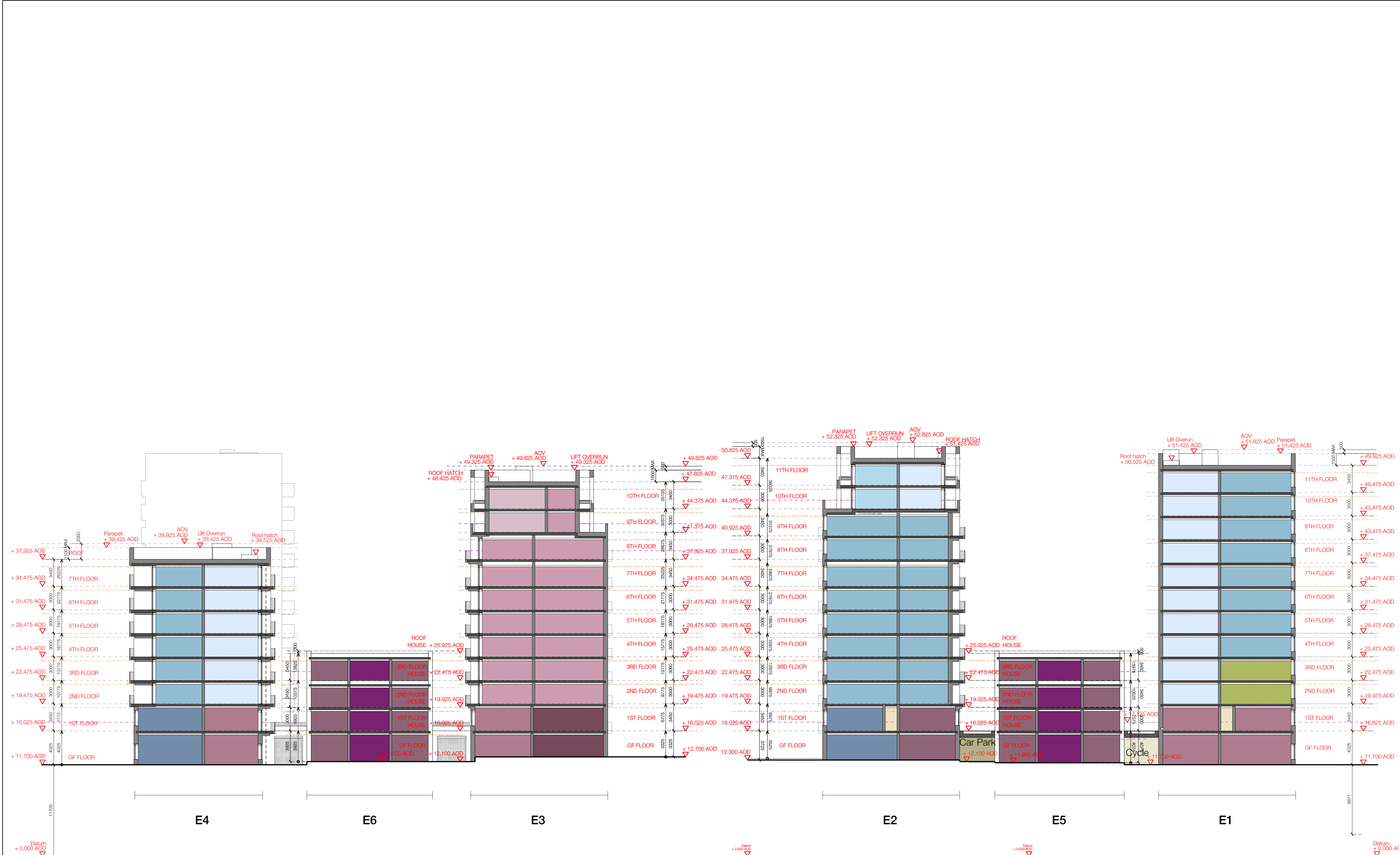
**Project**  
 Cambridge Road

**Scale**  
 1:250 @ A1      1:500 @ A3

**Status**  
 For Planning Approval

**Drawing Number**      **Revision**  
 503-PTA-EZ-ZZ-DR-A-1930      PL2

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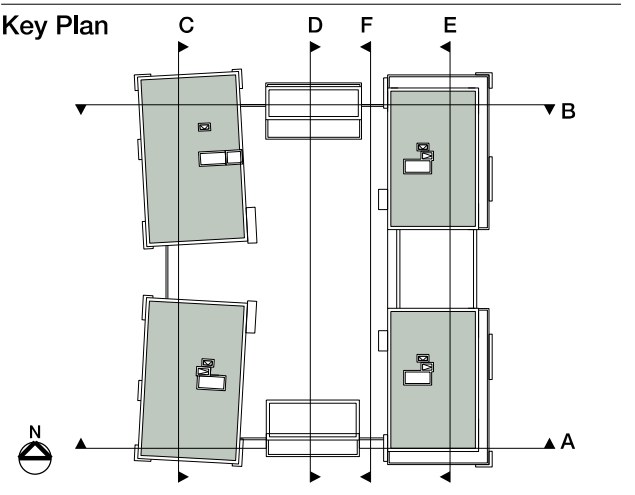
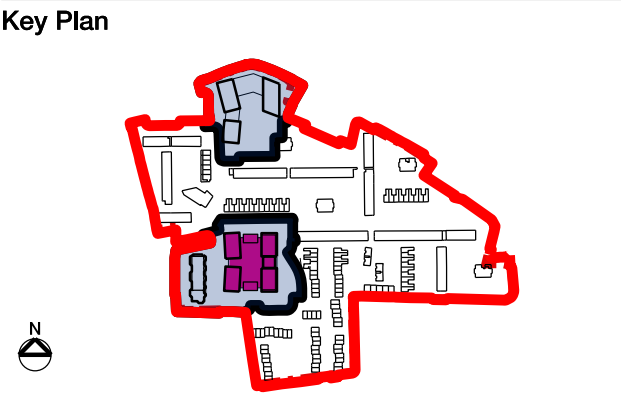
**01 Section A-A**  
 Scale 1:250

**02 Section B-B**  
 Scale 1:250

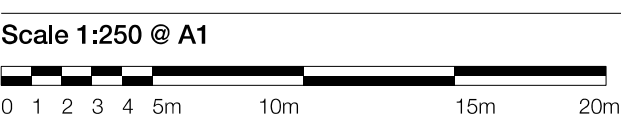
**Drawing Notes**  
**Rainwater drainage**  
 Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully enclosed balcony recesses.  
 Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition



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Social Rent	Shared Equity	Private
1B2P	1B2P	1B2P
2B3P	2B3P	2B3P
2B4P	2B4P	2B4P
3B4P	3B4P	3B4P
3B5P	3B5P	3B5P
3B6P	3B6P	3B6P
4B5P		
4B6P	4B6P	4B6P
4B7P	4B7P	4B7P
4B8P	4B7P	4B7P
5B6P		
5B8P		
6B10P		



**Issue Record**

By	Chk	Date
PL1	CW	NE 13.11.2020

**Title**  
 Building E  
 Sections C-C & D-D

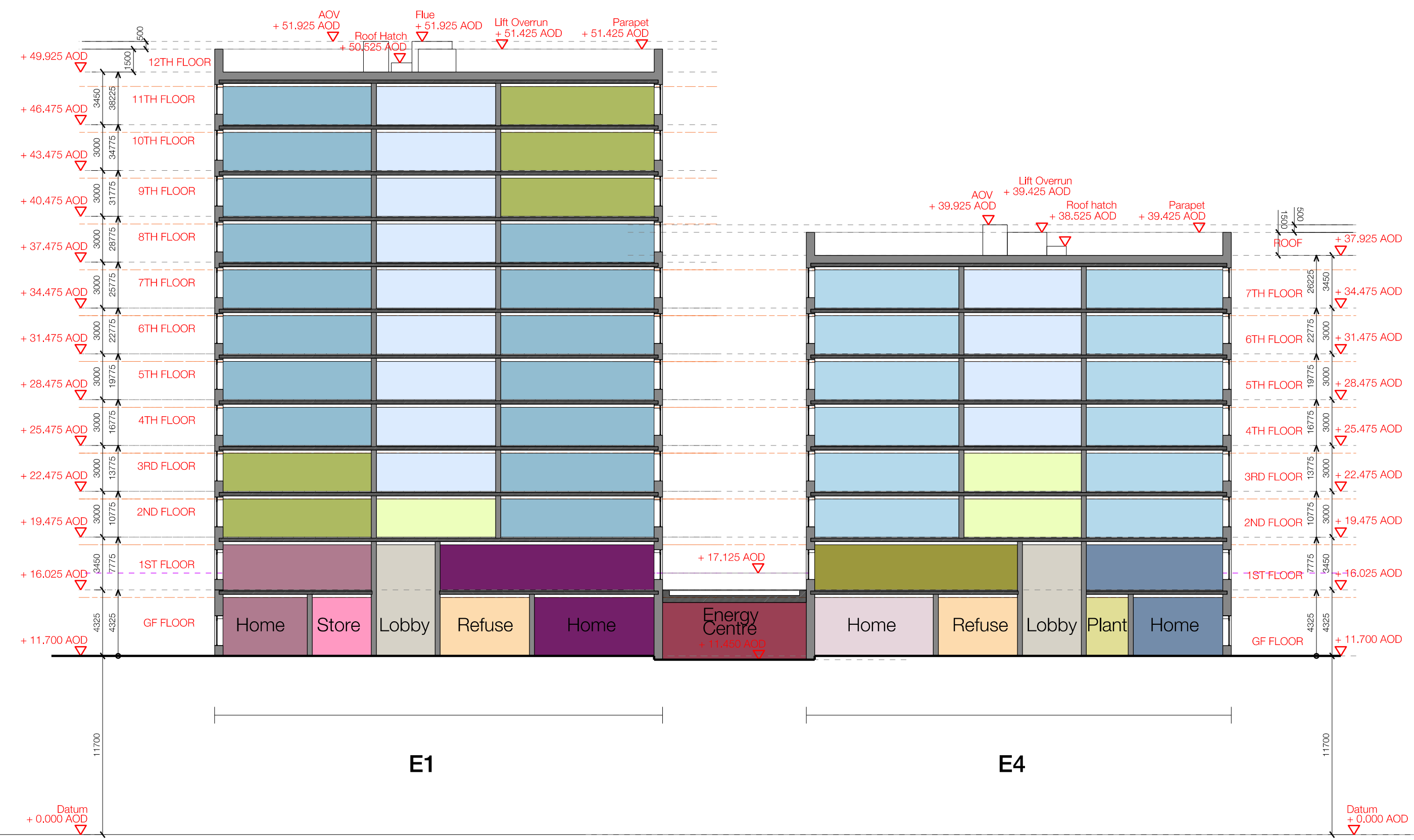
**Project**  
 Cambridge Road

**Scale**  
 1:250 @ A1      1:500 @ A3

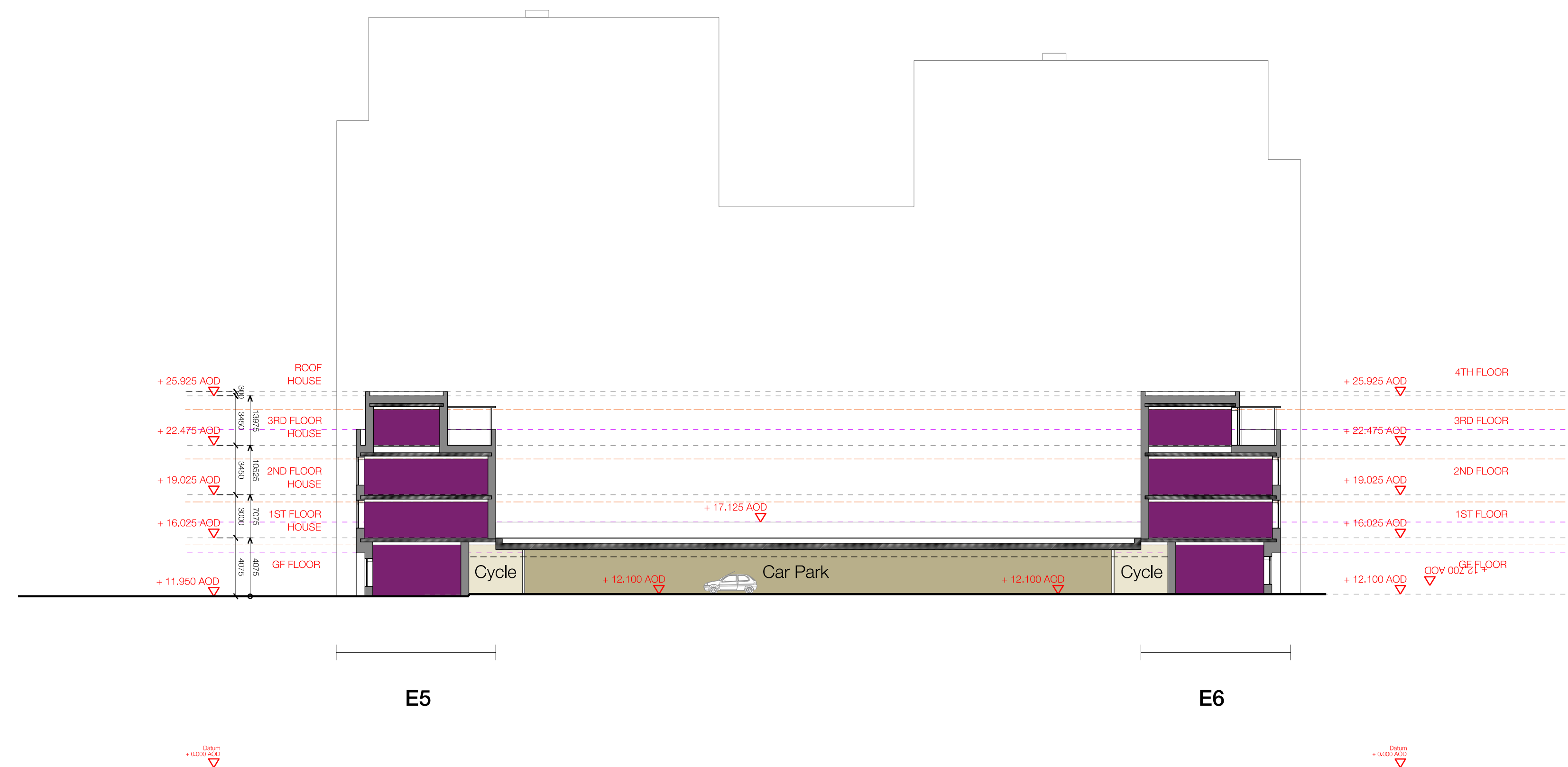
**Status**  
 For Planning Approval

**Drawing Number**      **Revision**  
 503-PTA-EZ-ZZ-DR-A-1931      PL1

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**01 Section C-C**  
 Scale 1:250

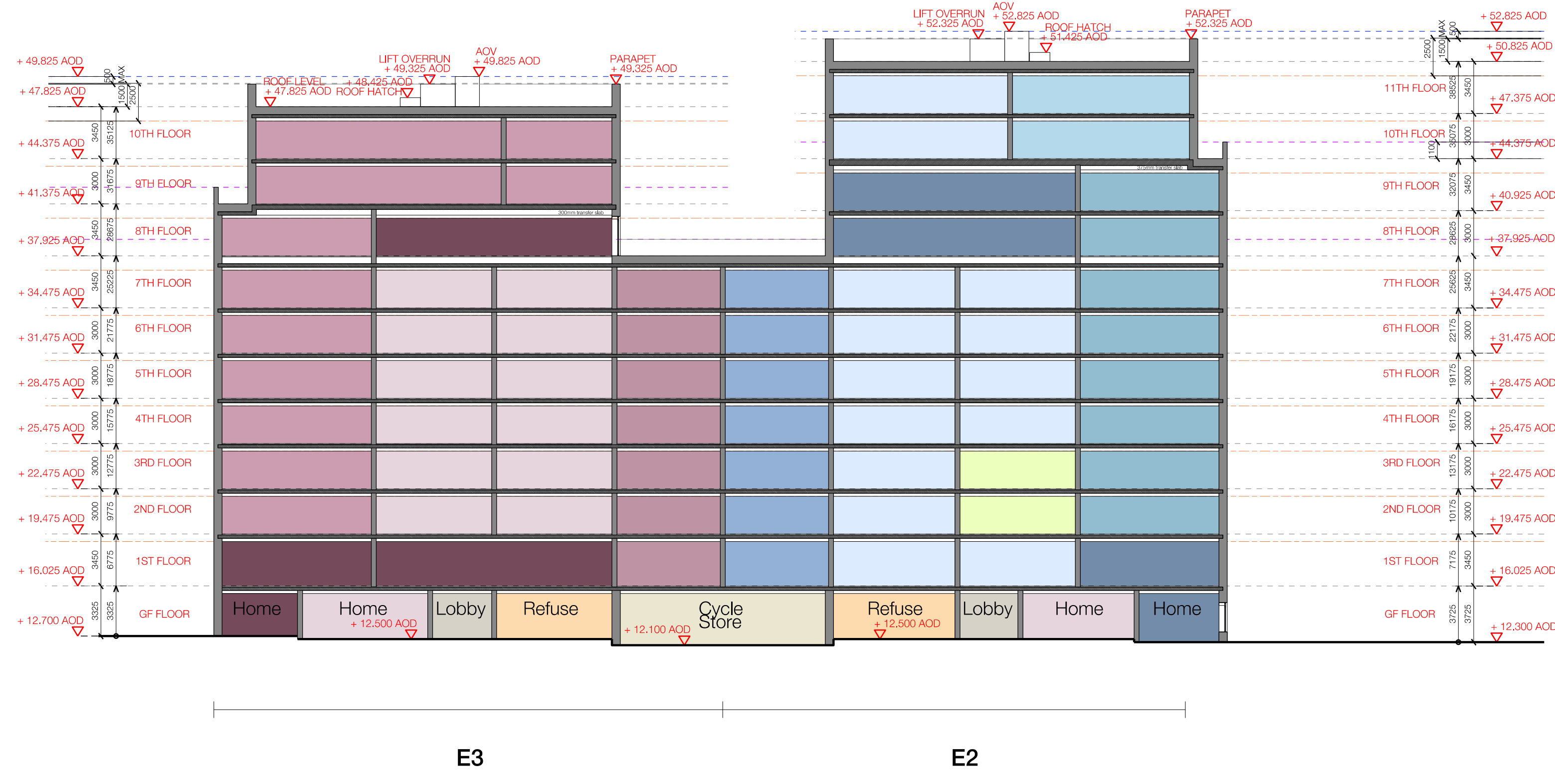
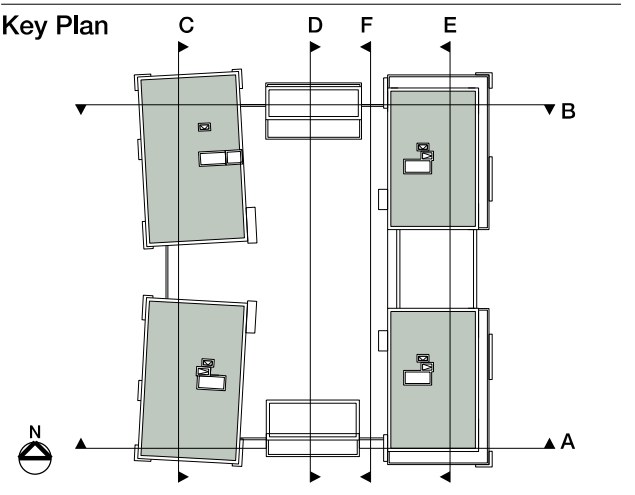
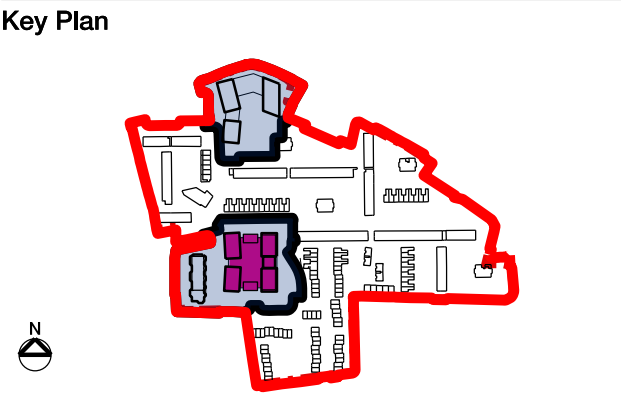


**02 Section D-D**  
 Scale 1:250

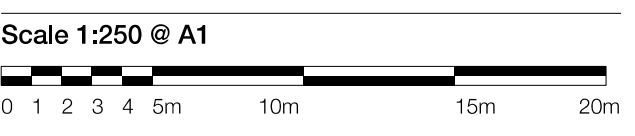
**Drawing Notes**  
**Rainwater drainage**  
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Social Rent	Shared Equity	Private
1B2P	1B2P	1B2P
2B3P	2B3P	2B3P
2B4P	2B4P	2B4P
3B4P	3B4P	3B4P
3B5P	3B5P	3B5P
3B6P	3B6P	3B6P
4B5P		
4B6P	4B6P	4B6P
4B7P	4B7P	4B7P
4B8P	4B7P	4B7P
5B6P		
5B8P		
6B10P		



**Issue Record**

By	Chk	Date
PL1	CW	NE 13.11.2020

**Title**  
 Building E  
 Sections E-E & F-F

**Project**  
 Cambridge Road

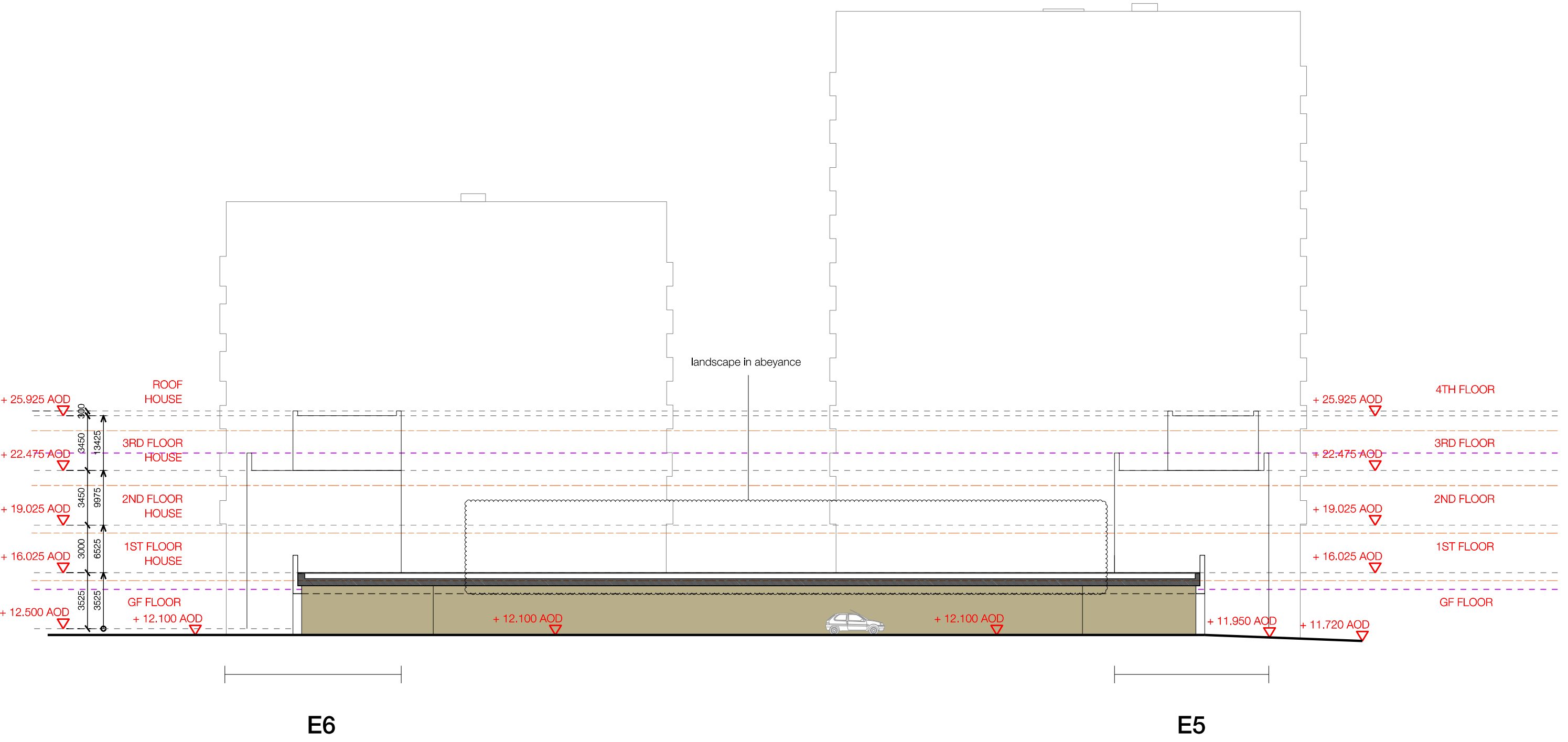
**Scale**  
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**Status**  
 For Planning Approval

**Drawing Number**      **Revision**  
 503-PTA-EZ-ZZ-DR-A-1932      PL1

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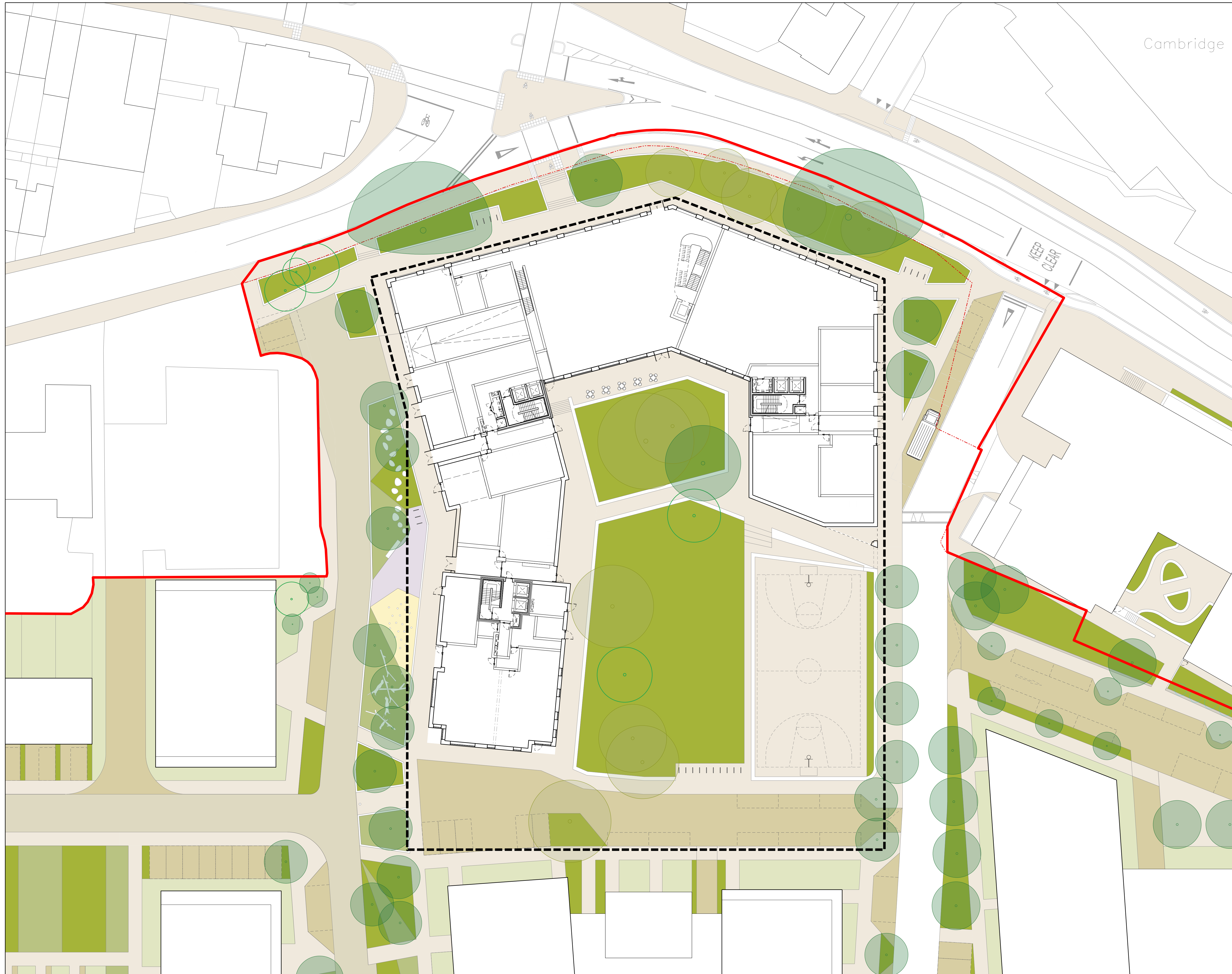
**01 Section E-E (east)**  
 Scale 1:250



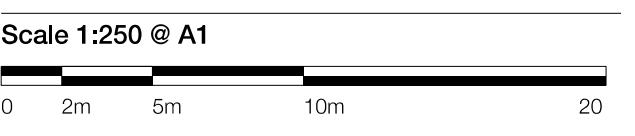
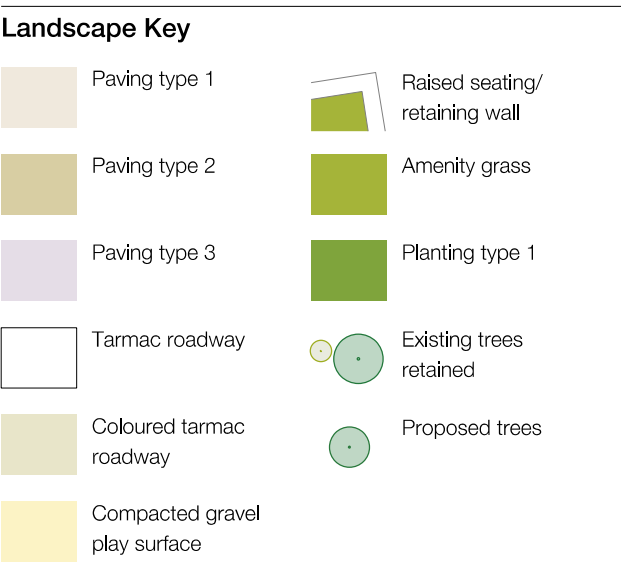
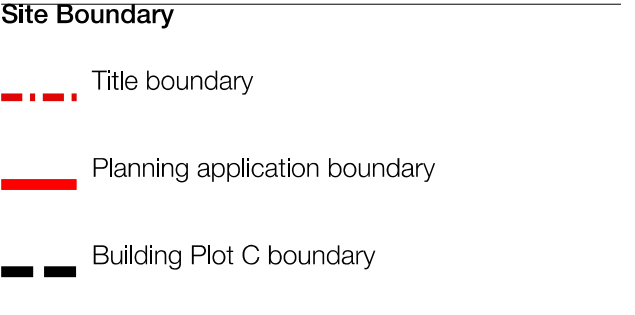
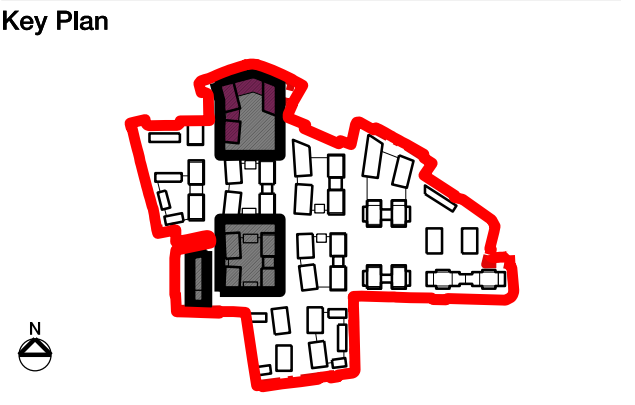
**02 Section F-F (east)**  
 Scale 1:250

**Drawing Notes**  
**Rainwater drainage**  
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**Issue Record**

By	Chk	Date
PL1		For planning approval
CW	NE	13.11.2020

**Title**  
 Plot C  
 GA Landscape Plan  
 Illustrative masterplan context

**Project**  
 Cambridge Road

**Scale**  
 1:250 @ A1      1:500 @ A3

**Status**  
 For Planning Approval

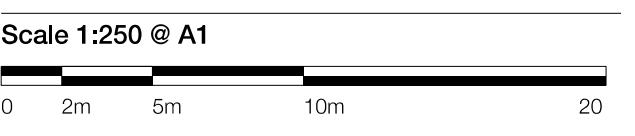
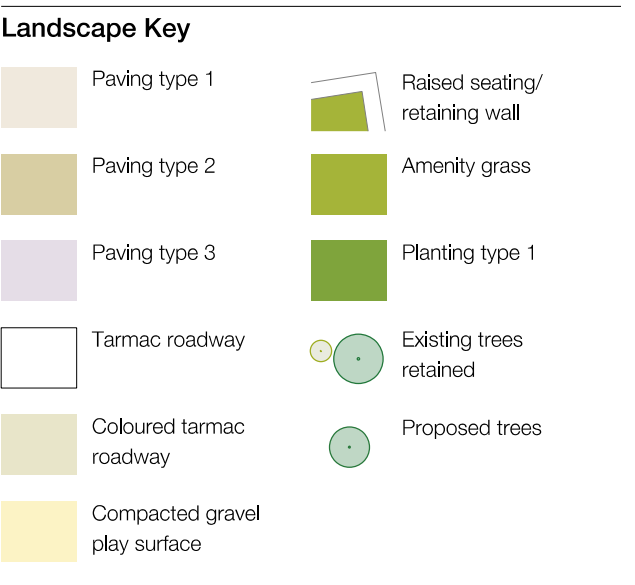
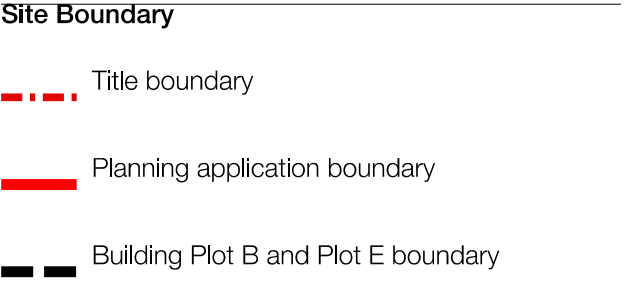
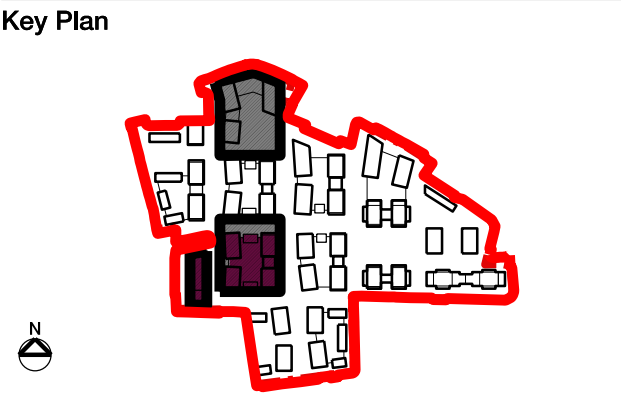
**Drawing Number**      **Revision**  
 503-PTA-MP-00-DR-LA-4300 PL1

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**Issue Record**

	By	Chk	Date
PL3 Amendments to public realm	RM	NE	07.05.2021
PL2 Amendments to public realm	NE	RM	01.04.2021
PL1 For planning approval	CW	NE	13.11.2020

**Title**  
 Plot B and Plot E  
 GA Landscape Plan  
 Illustrative masterplan context

**Project**  
 Cambridge Road

**Scale**  
 1:250 @ A1      1:500 @ A3

**Status**  
 S4 - For Planning Approval      **Revision PL3**

**Drawing Number**  
 503-PTA-MP-00-DR-LA-4301

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