

CAMBRIDGE ROAD ESTATE – PLANNING APPLICATION 20/02942/FUL

PHASE 1 DRAWINGS – COMPLETE SET

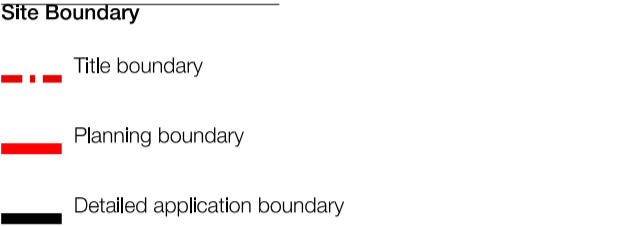
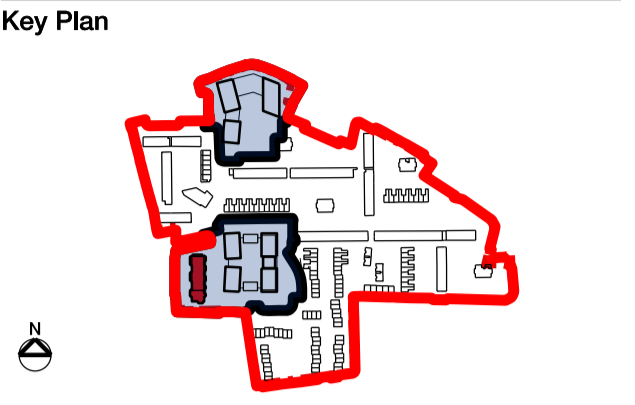
****UPDATED DOCUMENT****

Amendments to landscape, Plot B, C and E drawings made in June 2021 and October 2021 as shown below.

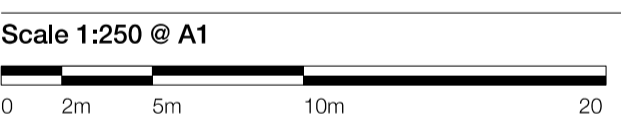
Detailed Component - Landscape plans					For Approval
503-PTA-MP-00-DR-LA-4300	PL1	Masterplan Phase 1 - Building C – Long term GA Landscape Plan	1:250	A1	For Approval
503-PTA-MP-00-DR-LA-4301	PL3	Masterplan Phase 1 - Buildings B and E – Long term GA Landscape Plan	1:250	A1	For Approval
503-PTA-PH1-00-DR-LA-4300	PL1	Masterplan Phase 1 - Building C – Short term GA Landscape Plan	1:250	A1	For Approval
503-PTA-PH1-00-DR-LA-4301	PL4	Masterplan Phase 1 - Buildings B and E - Short term GA Landscape Plan	1:250	A1	For Approval
Detailed Component – Plot B General Arrangement plans, sections and elevations					For Approval
503-PTA-BZ-ZZ-DR-A-1300	PL3	Plot B - GA Plans - Ground and First Floor	1:250	A1	For Approval
503-PTA-BZ-ZZ-DR-A-1301		Plot B - GA Plans - Second to Fifth Floor	1:250	A1	For Approval
503-PTA-BZ-ZZ-DR-A-1302		Plot B - GA Plan - Roof	1:250	A1	For Approval
503-PTA-BZ-ZZ-DR-A-1900		Plot B - GA Elevations	1:250	A1	For Approval
503-PTA-BZ-ZZ-DR-A-1901		Plot B - GA Sections	1:250	A1	For Approval
Detailed Component – Plot C General Arrangement plans, sections and elevations					For Approval
503-PTA-CZ-ZZ-DR-A-1320		Plot C - GA plans - Basement and Ground Floor	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1321	PL4	Plot C - GA plans - First and Second Floor	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1322	PL2	Plot C - GA plans – Typical Floor, Tenth and Eleventh Floor	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1323		Plot C - GA plans - Twelfth Floor and Roof	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1910	PL2	Plot C - GA Elevations - A, B	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1911	PL2	Plot C - GA Elevations - C, D	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1912	PL2	Plot C - GA Elevations - E, F	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1913		Plot C - GA Elevation - G	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1914		Plot C - GA Sections - A,B	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1915		Plot C - GA Sections - C,D	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1916		Plot C - GA Sections - E,F	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1917		Plot C - GA Sections - G,H	1:250	A1	For Approval
503-PTA-CZ-ZZ-DR-A-1918		Plot C - GA Section - J	1:250	A1	For Approval
Detailed Component – Plot E General Arrangement plans, sections and elevations					For Approval
503-PTA-EZ-ZZ-DR-A-1355	PL2	Plot E - GA Plans - Ground and First Floor	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1356	PL2	Plot E - GA Plans - Second and Third Floor	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1357	PL2	Plot E - GA Plans - Fourth and Fifth Floor	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1358	PL2	Plot E - GA Plans - Six and Seventh Floor	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1359	PL2	Plot E - GA Plans- Eighth and Ninth Floor	1:250	A1	For Approval

503-PTA-EZ-ZZ-DR-A-1360	PL3	Plot E - GA Plans - Tenth and Eleventh Floor	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1361	PL2	Plot E - GA Plan - Roof	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1920	PL3	Plot E - GA Elevations - A, B, C, D	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1921	PL3	Plot E - GA Sectional Elevations - E, F	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1922	PL3	Plot E - GA Sectional Elevations - G, H	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1930	PL2	Plot E - GA Sections - A, B	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1931		Plot E - GA Sections - C, D	1:250	A1	For Approval
503-PTA-EZ-ZZ-DR-A-1932		Plot E - GA Sections - E, F	1:250	A1	For Approval

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 Contractors must ensure that cross referenced drawings and specifications noted on these drawings are checked on a regular basis to ensure that the latest revisions are used.



Social Rent	Shared Equity	Non-residential uses	Ancillary uses
1B2P	1B2P	Plant	Refuse
2B3P	2B3P	Cleaners Cupboard	Cycle storage
2B4P	2B4P		
3B4P	3B4P		
3B5P	3B5P		
3B6P	3B6P		
4B5P	4B5P		
4B6P	4B6P		
4B7P	4B7P		
4B8P	4B7P		
5B6P			
5B8P			
6B10P			



Issue Record

	By	Chk	Date
PL3 Amendments to public realm	RM		07.05.2021
PL2 For Planning Approval	NE	RM	31.03.2021
PL1 For Planning Approval	EP	NE	13.11.2020

Title
 Plot B
 GA Plan
 Ground and First Floor

Project
 Cambridge Road

Scale
 1:250 @ A1 1:500 @ A3

Status **Revision**
 S4 - For Planning Approval **PL3**

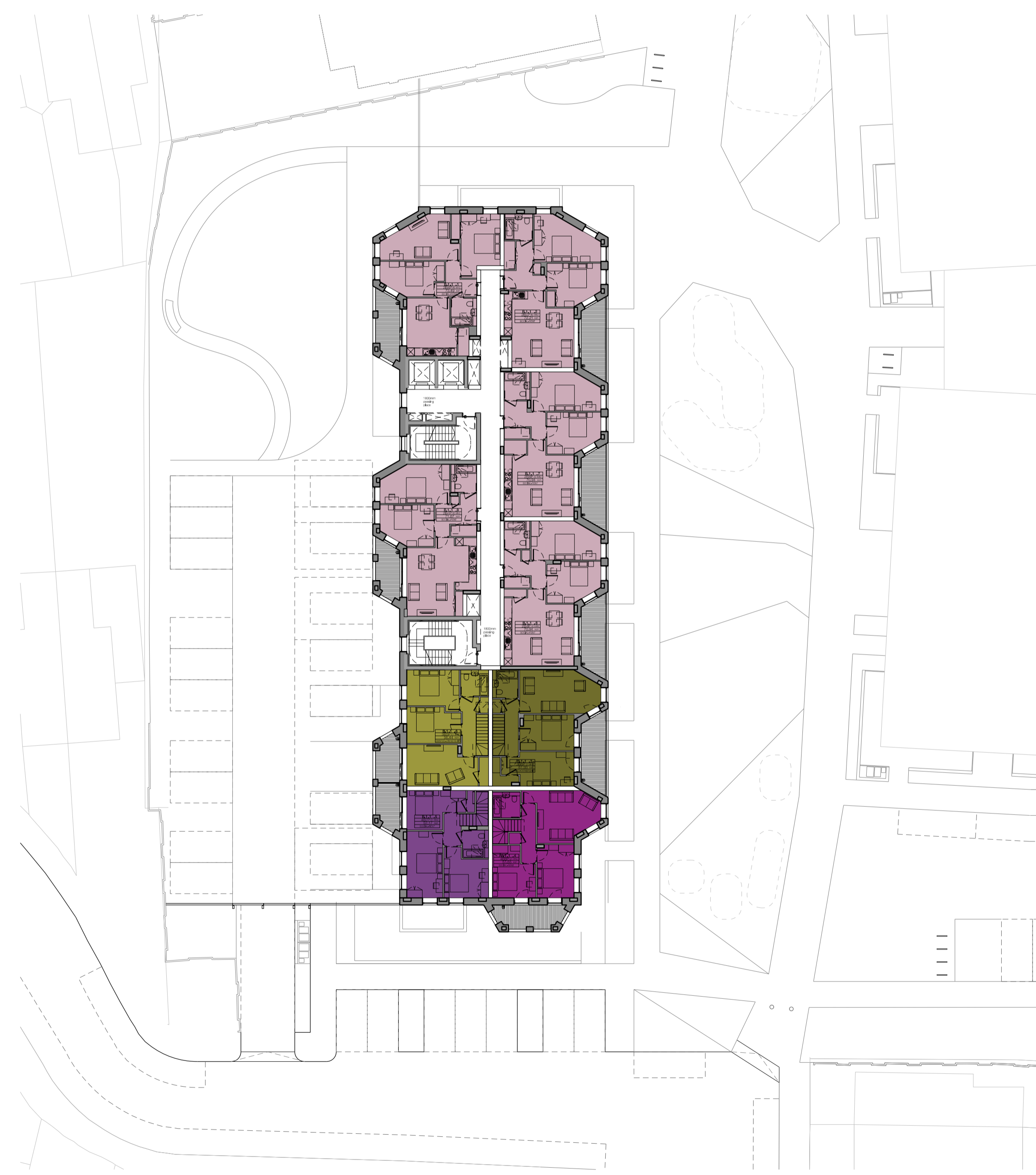
Drawing Number
 503-PTA-BZ-ZZ-DR-A-1300

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01 Ground Floor Plan
 1.250 @ A1

For landscape proposals refer to drawings:
 Phase 1: 503-PTA-PH1-00-DR-LA-4301
 Long term: 503-PTA-MP-00-DR-LA-4301



02 First Floor Plan
 1.250 @ A1

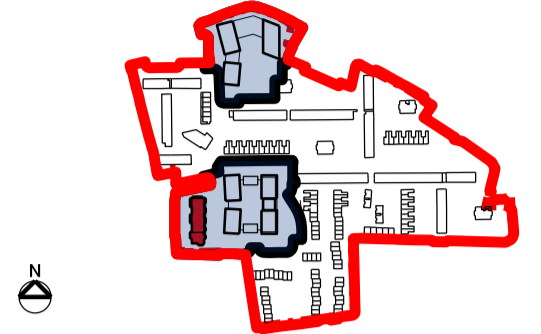
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Key Plan



Site Boundary

- - - Title boundary
- Planning boundary
- Detailed application boundary

Social Rent

- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P
- 3B6P
- 4B5P
- 4B6P
- 4B7P
- 4B8P
- 5B6P
- 5B8P
- 6B10P

Shared Equity

- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P
- 3B6P
- 4B6P
- 4B7P
- 4B7P

Scale 1:250 @ A1



Issue Record By Chk Date

PL1 For Planning Approval EP NE 13.11.2020

Title
Plot B
GA Plan
Second to Fourth Floor

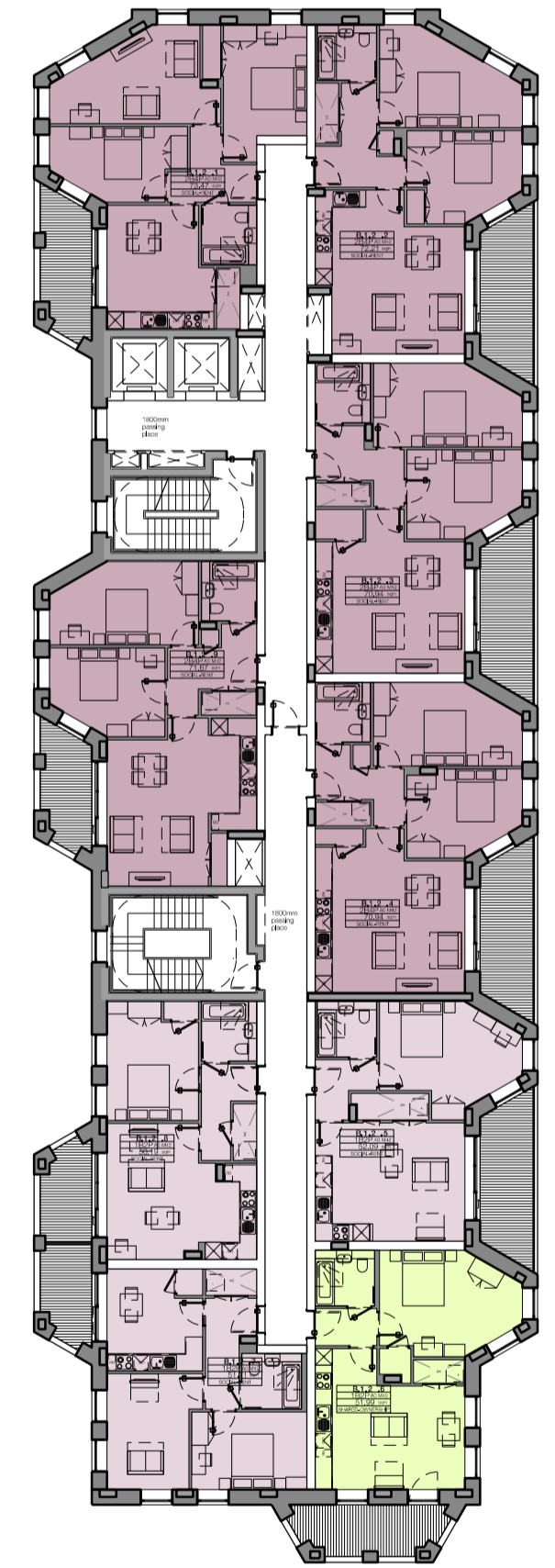
Project
Cambridge Road

Scale
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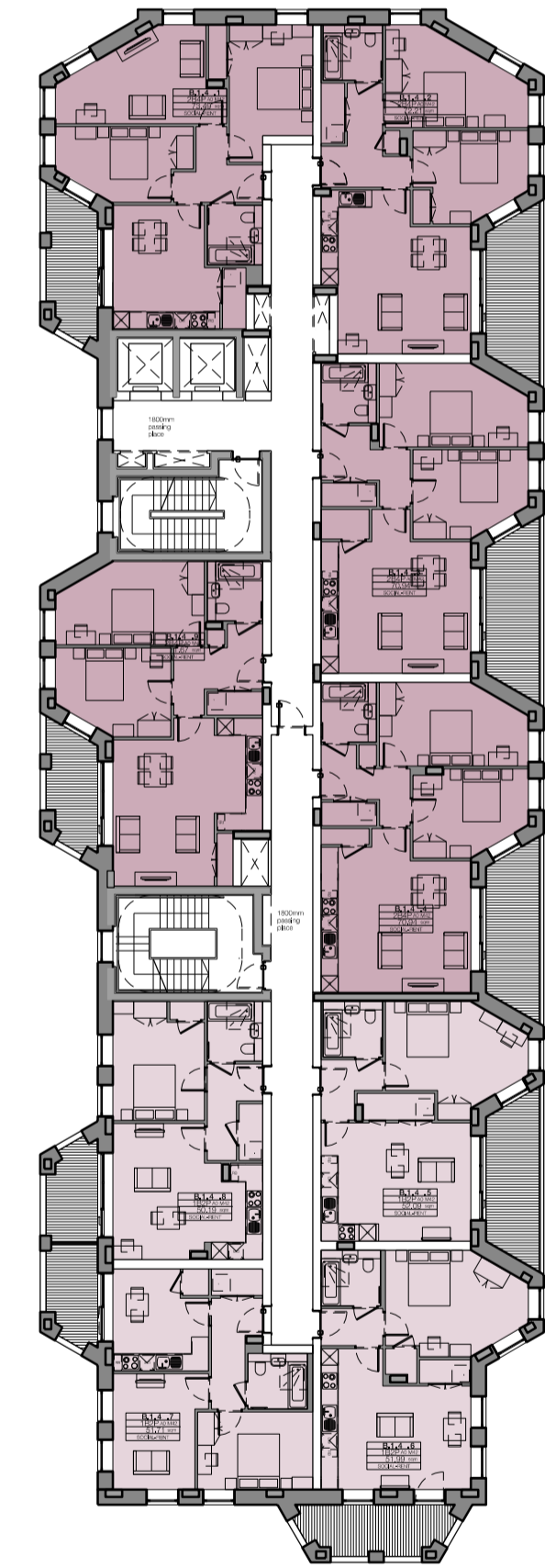
Status
For Planning Approval

Drawing Number 503-PTA-BZ-ZZ-DR-A-1301 **Revision** PL1

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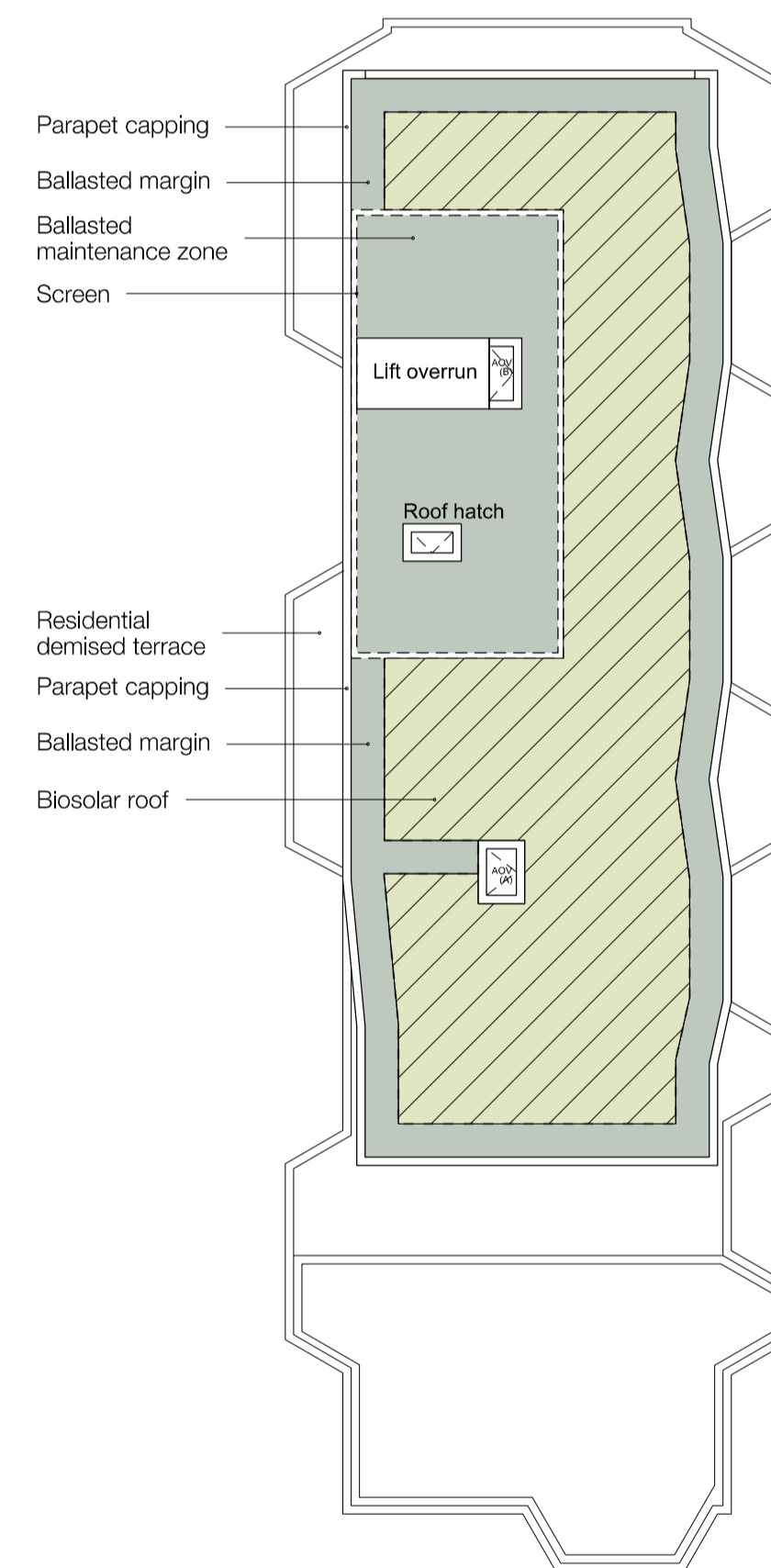
01 Second to Third Floor Plan
1.250 @ A1



02 Fourth Floor Plan
1.250 @ A1



01 Fifth Floor Plan
1.250 @ A1



02 Roof Plan
1.250 @ A1

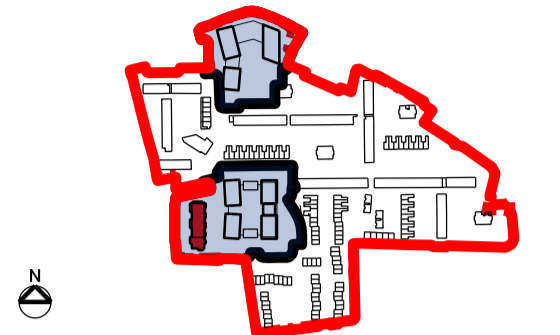
General Notes

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Key Plan



Site Boundary

- - - Title boundary
- Planning boundary
- Detailed application boundary

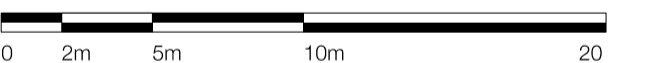
Social Rent

- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P
- 3B6P
- 4B5P
- 4B6P
- 4B7P
- 4B8P
- 5B6P
- 5B8P
- 6B10P

Shared Equity

- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P
- 3B6P
- 4B6P
- 4B7P
- 4B7P

Scale 1:250 @ A1



Issue Record By Chk Date

PL1 For Planning Approval EP NE 13.11.2020

Title
Plot B
GA Plan
Fifth Floor to Roof

Project
Cambridge Road

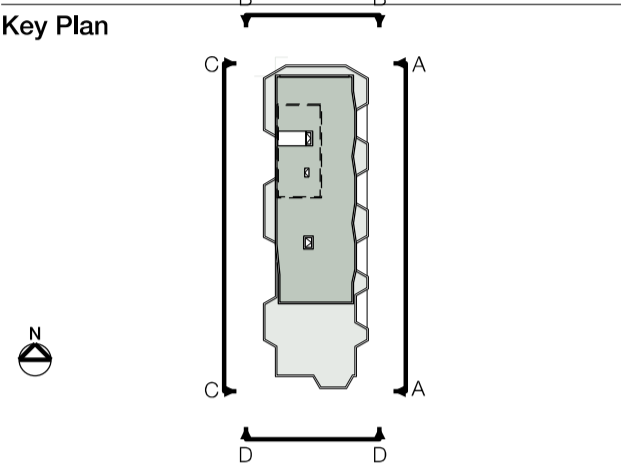
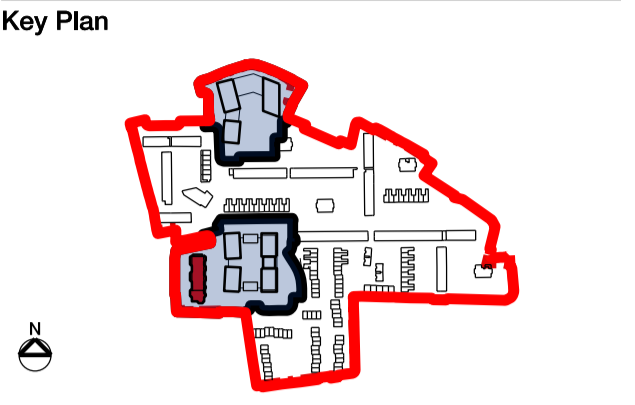
Scale
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Status
For Planning Approval

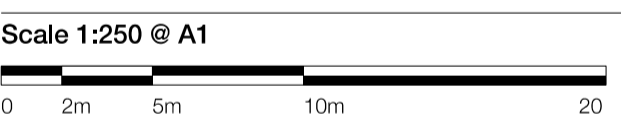
Drawing Number 503-PTA-BZ-ZZ-DR-A-1302 **Revision** PL1

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- Material key (Building B)**
- A. White brick
 - B4. Buff brick type 4
 - B5. Buff brick type 5
 - D3. Red brick type 3
2. Soldier course brickwork
 3. Recessed brickwork
 4. Rainscreen cladding
 5. White balcony soffit
 6. Metal-faced outward opening window
 7. Integrated ventilation panel
 8. Metal sill flashing
 9. Perforated metal screen door
 10. Metal-faced glazed door
 11. External door to ground floor homes
 12. Metal picket balustrade
 13. Brick topped with metal picket balustrade
 14. Masonry parapet capping
 15. Metal plant screen
 16. Brick parapet
 17. Rainscreen cladding parapet
 18. Low parapet to inaccessible roof
 19. Full metal fence and secured gates
 20. Free standing brick garden wall
 21. Brick external bin store with metal roof



Issue Record	By	Chk	Date
PL1 For Planning Approval	EP	NE	13.11.2020

Title
 Building B
 GA Elevations

Project
 Cambridge Road

Scale
 1:250 @ A1 1:500 @ A3

Status
 For Planning Approval

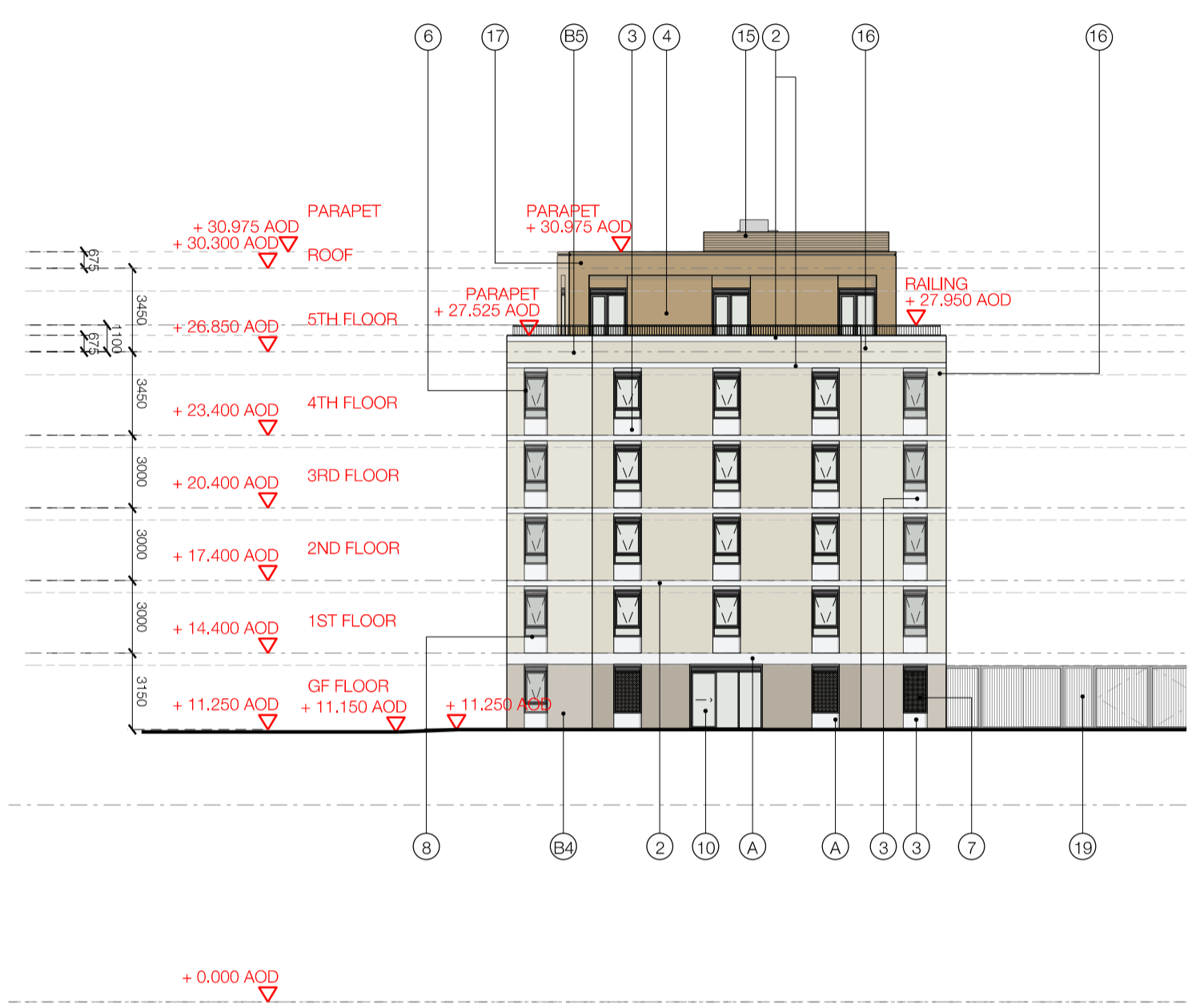
Drawing Number **Revision**
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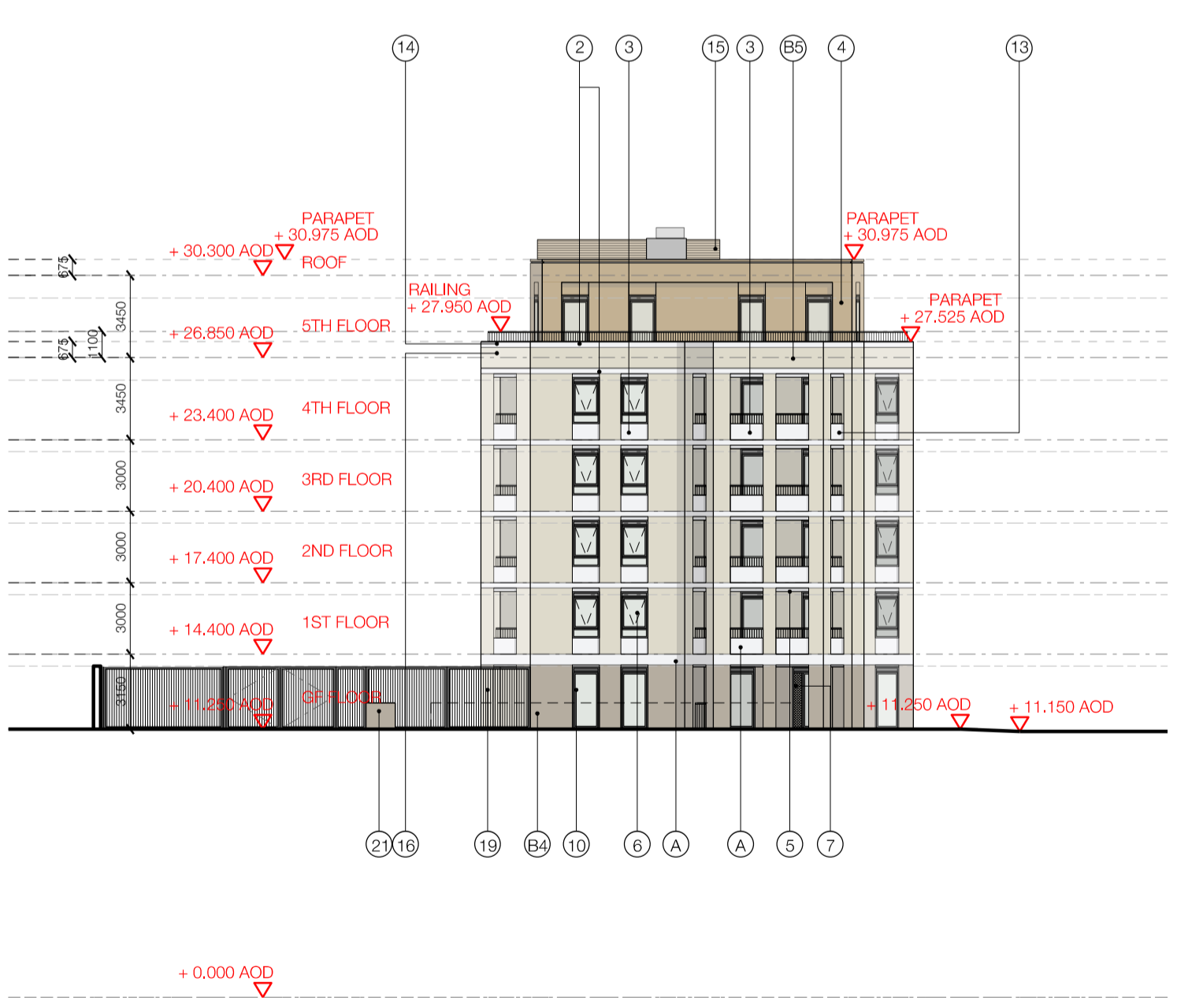
01 Elevation A-A (east)
 1:250 @ A1



02 Elevation B-B (north)
 1:250 @ A1



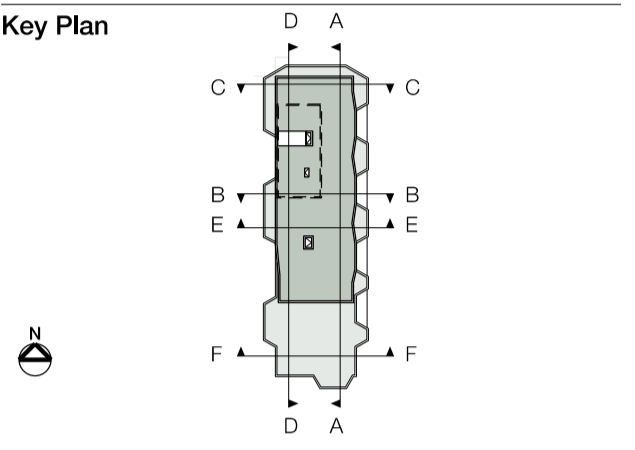
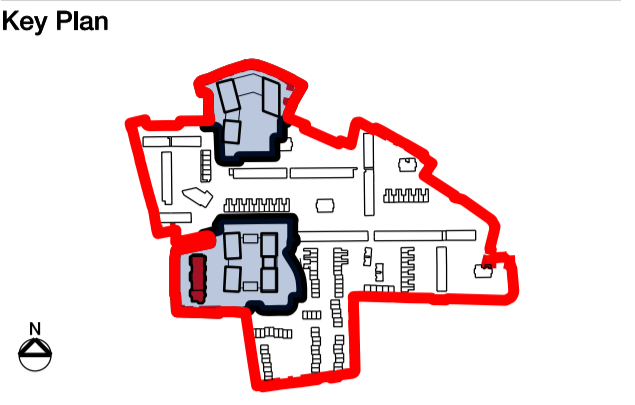
03 Elevation C-C (west)
 1:250 @ A1



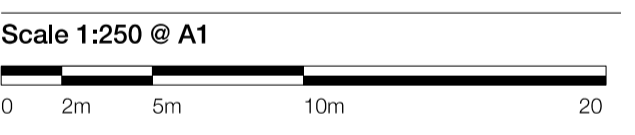
04 Elevation D-D (south)
 1:250 @ A1

Drawing Notes
Rainwater drainage
 Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
 Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

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Social Rent	Shared Equity
1B2P	1B2P
2B3P	2B3P
2B4P	2B4P
3B4P	3B4P
3B5P	3B5P
3B6P	3B6P
4B5P	
4B6P	4B6P
4B7P	4B7P
4B8P	4B7P
5B6P	
5B8P	
6B10P	



Issue Record

By	Chk	Date
PL1	For Planning Approval	EP NE 13.11.2020

Title
 Plot B
 GA Sections

Project
 Cambridge Road

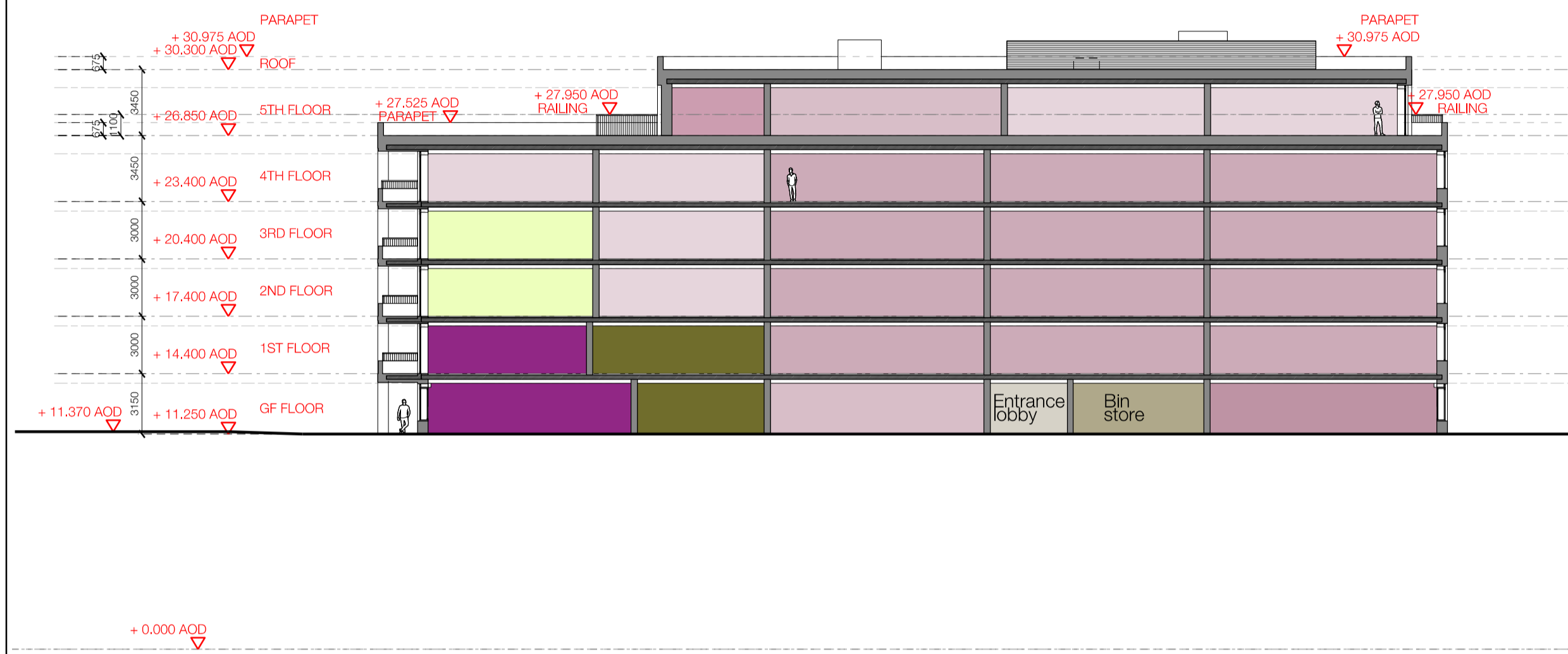
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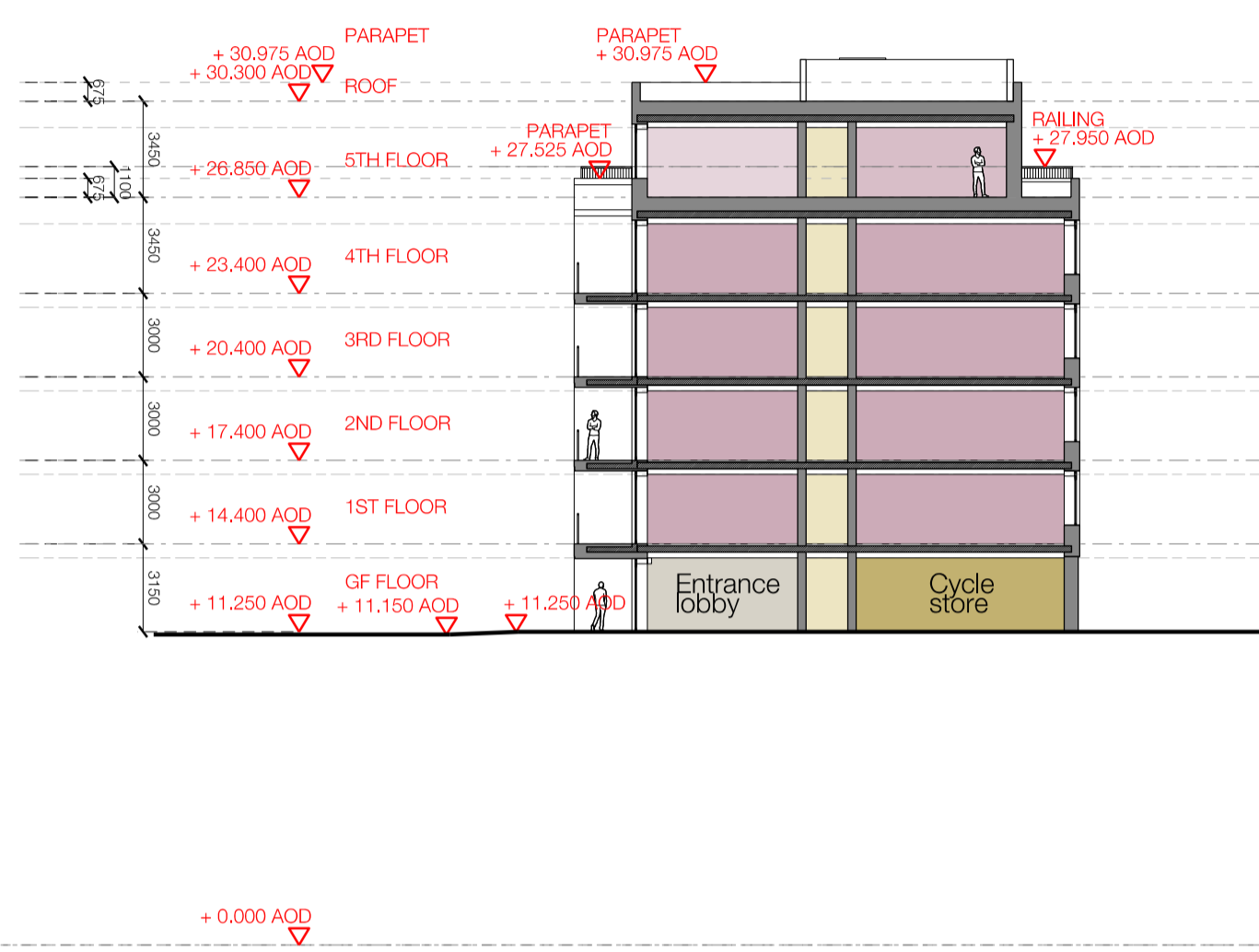
Drawing Number **Revision**
 503-PTA-BZ-ZZ-DR-A-1901 PL1

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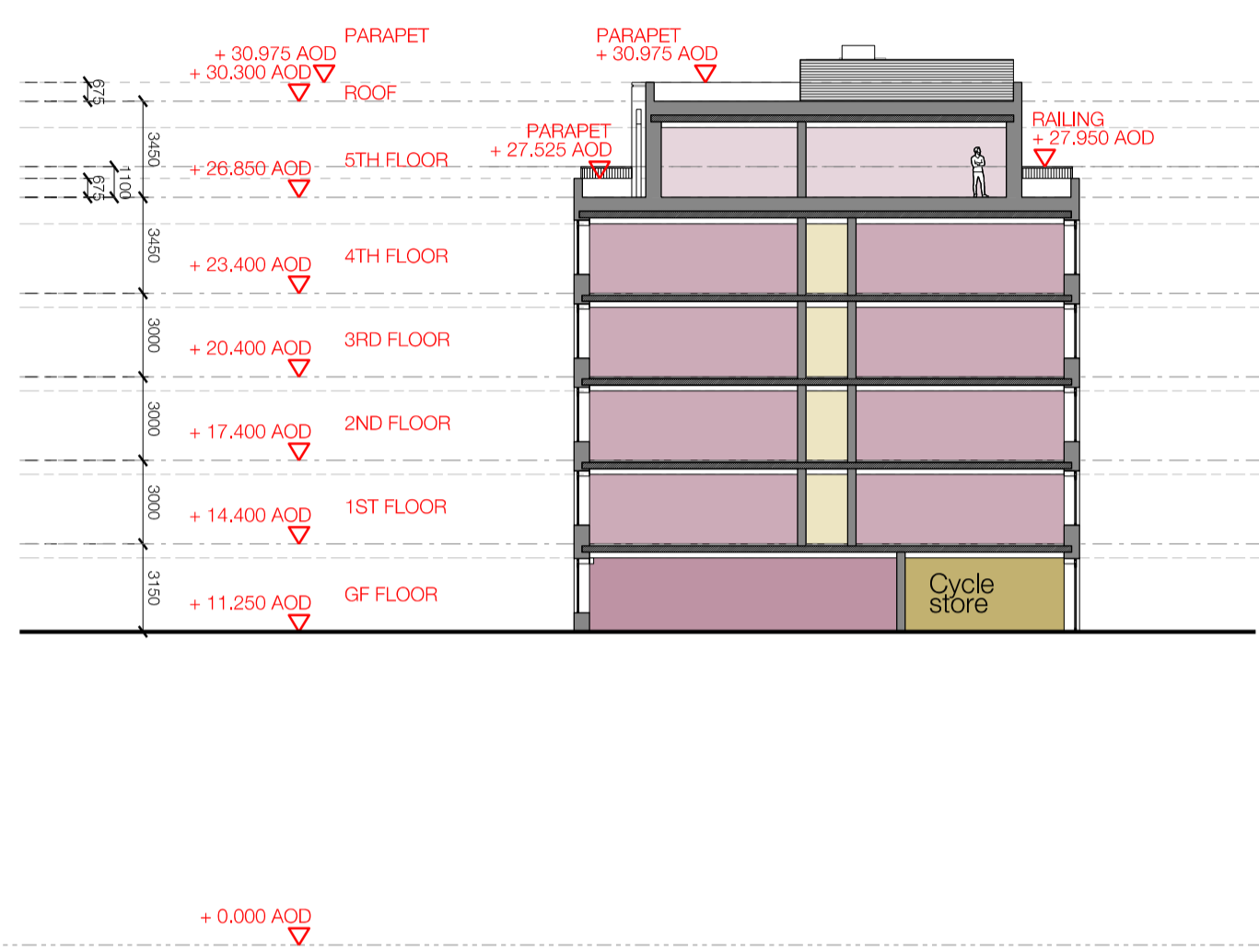
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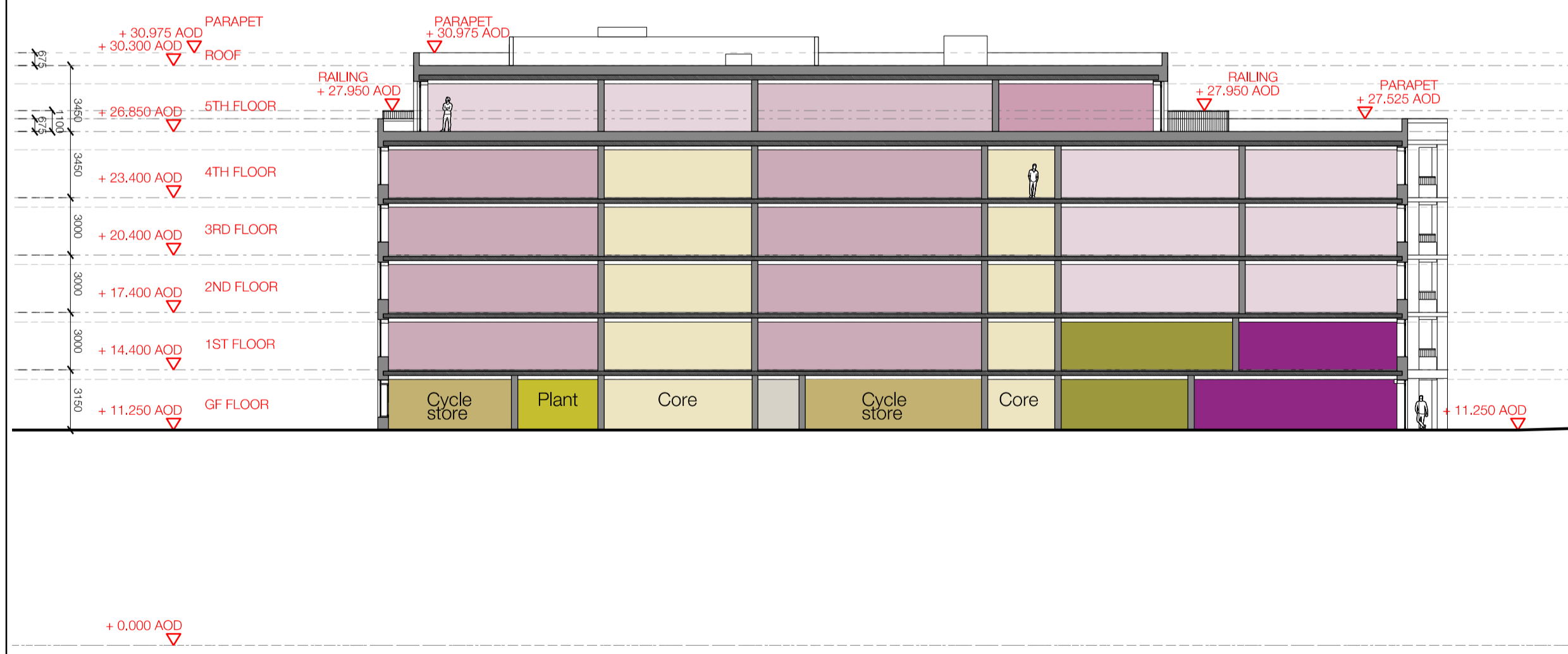
01 Section A-A (east)
 1:250 @ A1



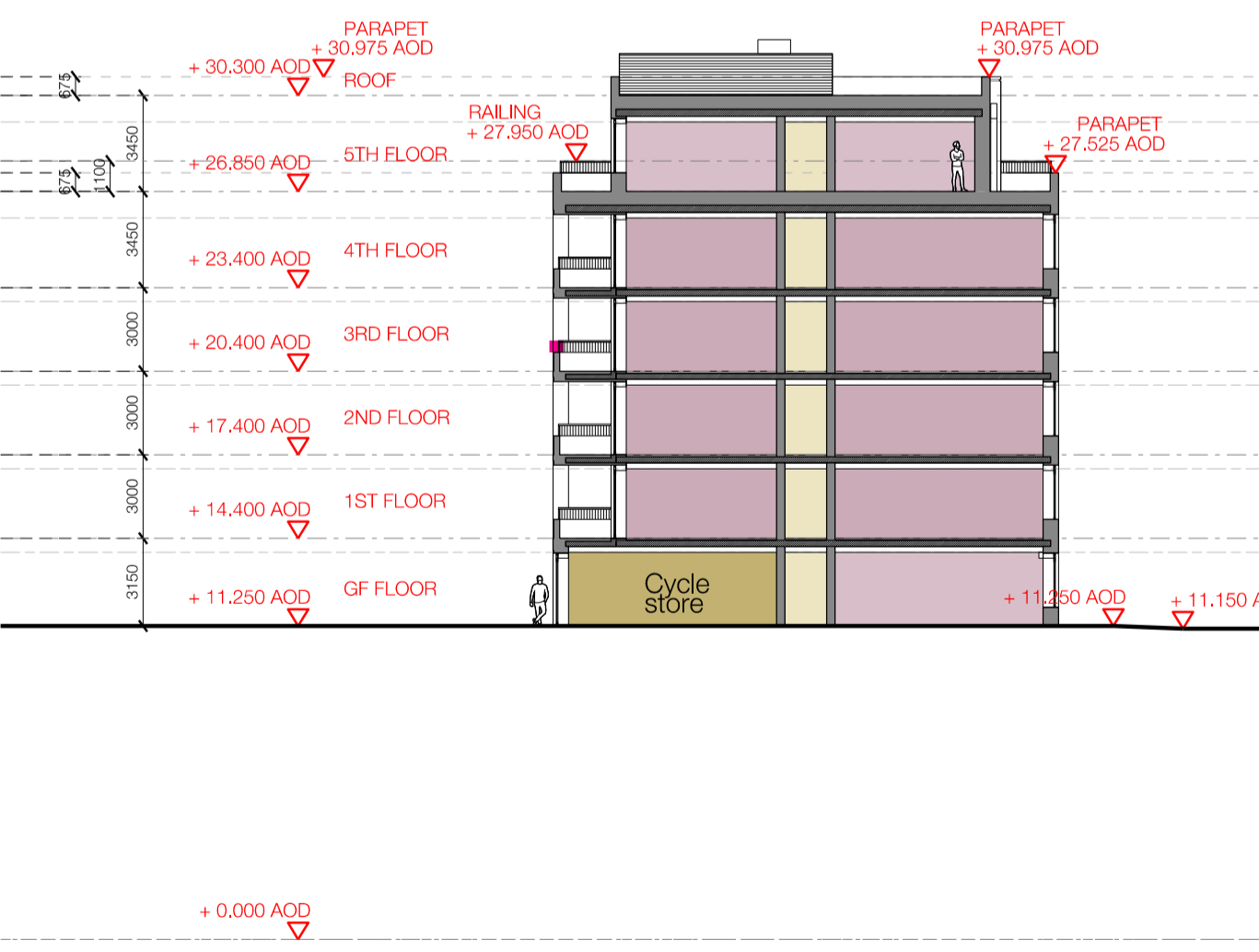
02 Section B-B (north)
 1:250 @ A1



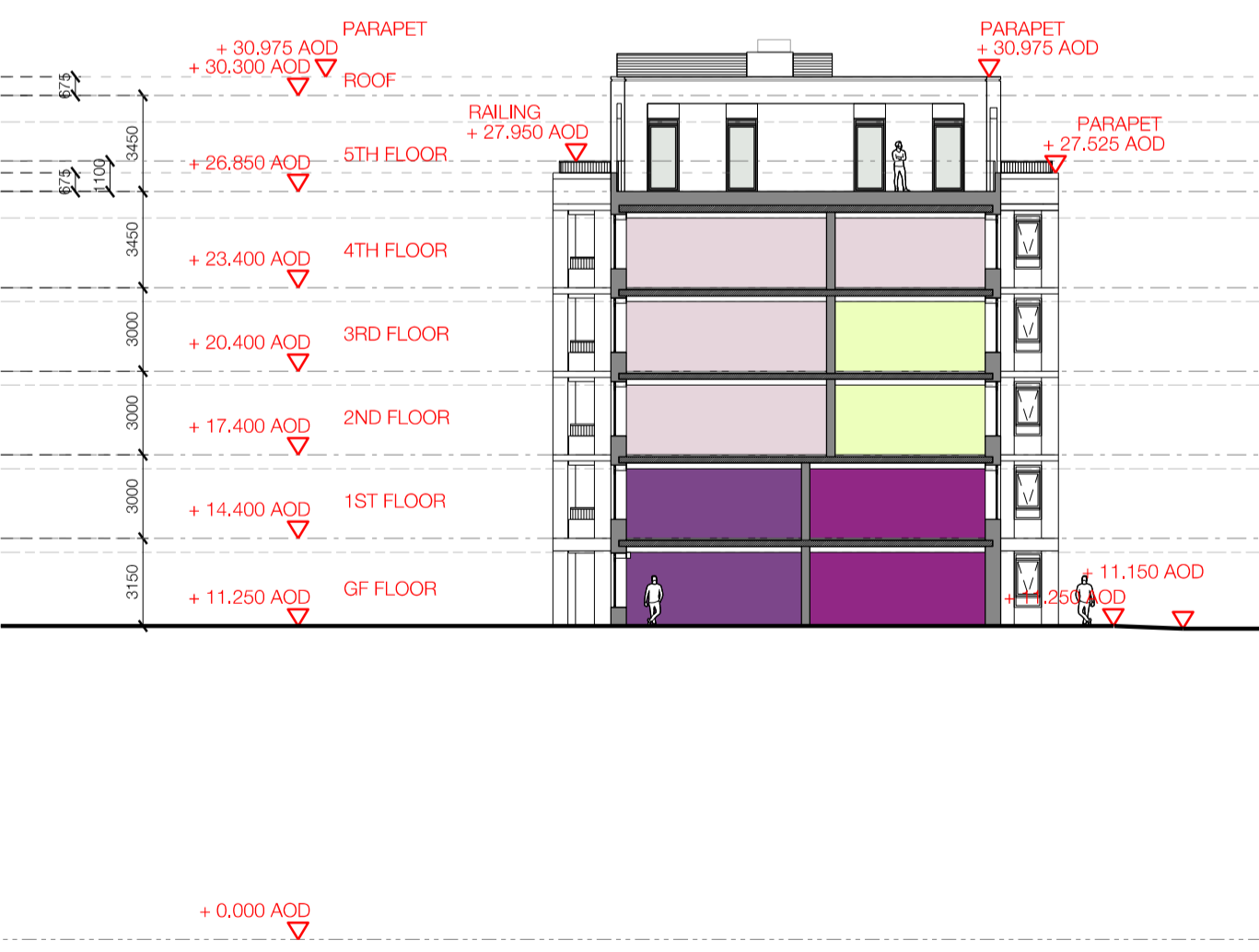
03 Section C-C (north)
 1:250 @ A1



04 Section D-D (west)
 1:250 @ A1

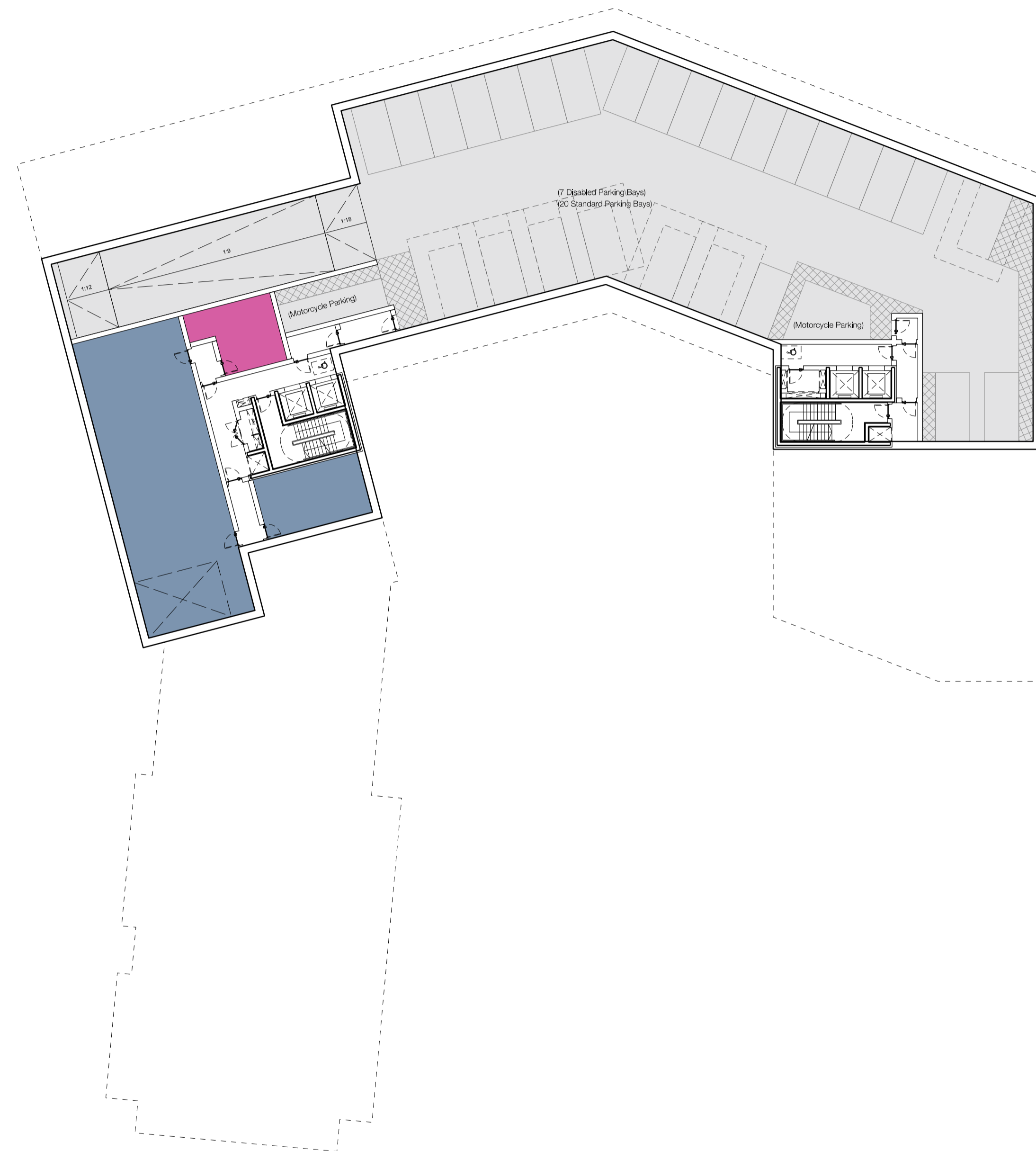


05 Section E-E (south)
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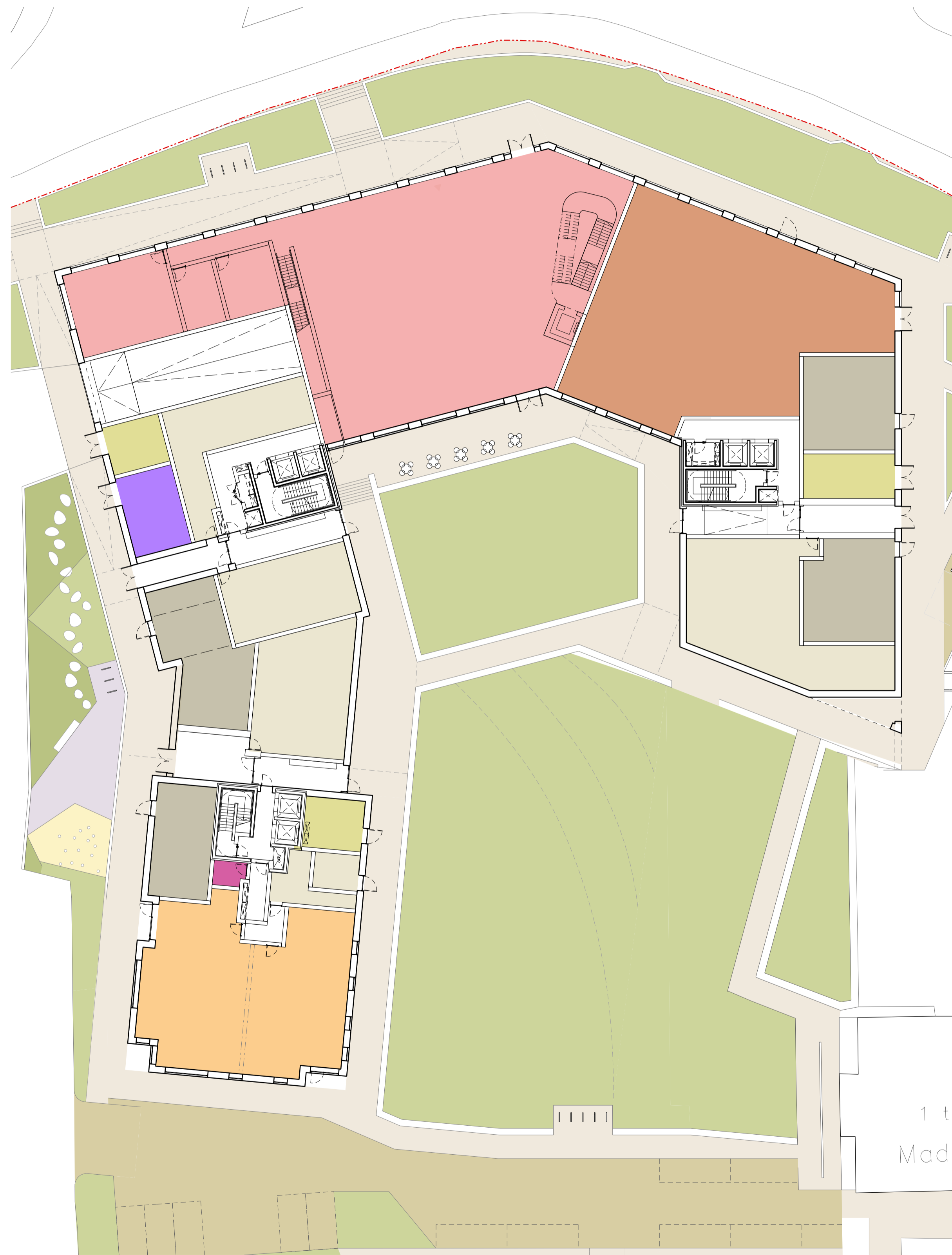


06 Section F-F (south)
 1:250 @ A1

Drawing Notes
Rainwater drainage
 Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully enclosed balcony recesses.
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01 Level B1
1:250



02 Level 00
1:250

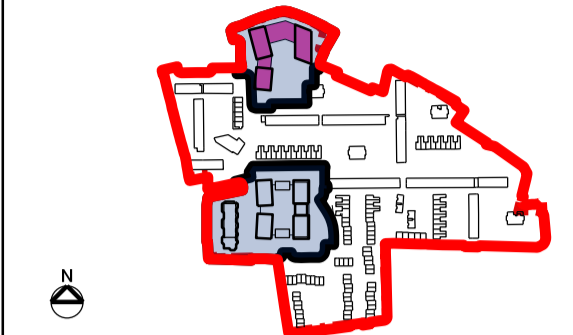
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Key Plan



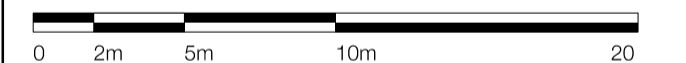
Site Boundary

- Title boundary
- Planning boundary
- Detailed application boundary

Colour Code

- Retail
- Community Centre
- Refuse storage
- Cycle storage
- Plant
- Water Tank
- Storage
- Workspace
- Substation

Scale 1:250 @ A1



Issue Record By Chk Date

PL1 For Planning Approval CW NE 13.11.2020

Title
Building C1, C2 & C3
General Arrangements
Levels B1 and 00

Project
Cambridge Road

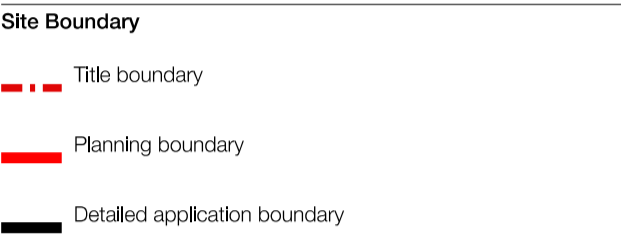
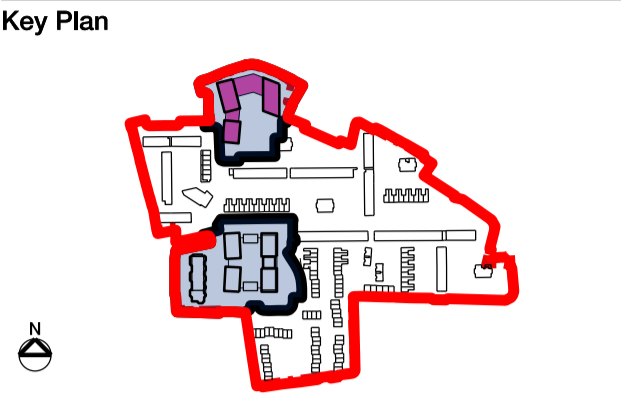
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Status
For Planning Approval

Drawing Number 503-PTA-CZ-ZZ-DR-A-1320 **Revision** PL1

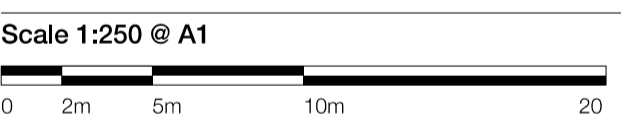
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Colour Code

Social Rent	Shared Equity	Private
1B2P	1B2P	1B2P
2B3P	2B3P	2B3P
2B4P	2B4P	2B4P
3B4P	3B4P	3B4P
3B5P	3B5P	3B5P
3B6P	3B6P	3B6P
4B5P		
4B6P	4B6P	4B6P
4B7P	4B7P	4B7P
4B8P	4B7P	4B7P
5B6P		Community Centre
5B8P		
6B10P		



Issue Record

	By	Chk	Date
PL4 Tenure distribution amendments	CW	RM	11.10.2021
PL3 For information	TS	RM	11.06.2021
PL2 For planning approval	EP	NE	30.03.2021
PL1 For planning approval	CW	NE	13.11.2020

Title
 Building C1, C2 & C3
 General Arrangements
 Levels 01 and 02

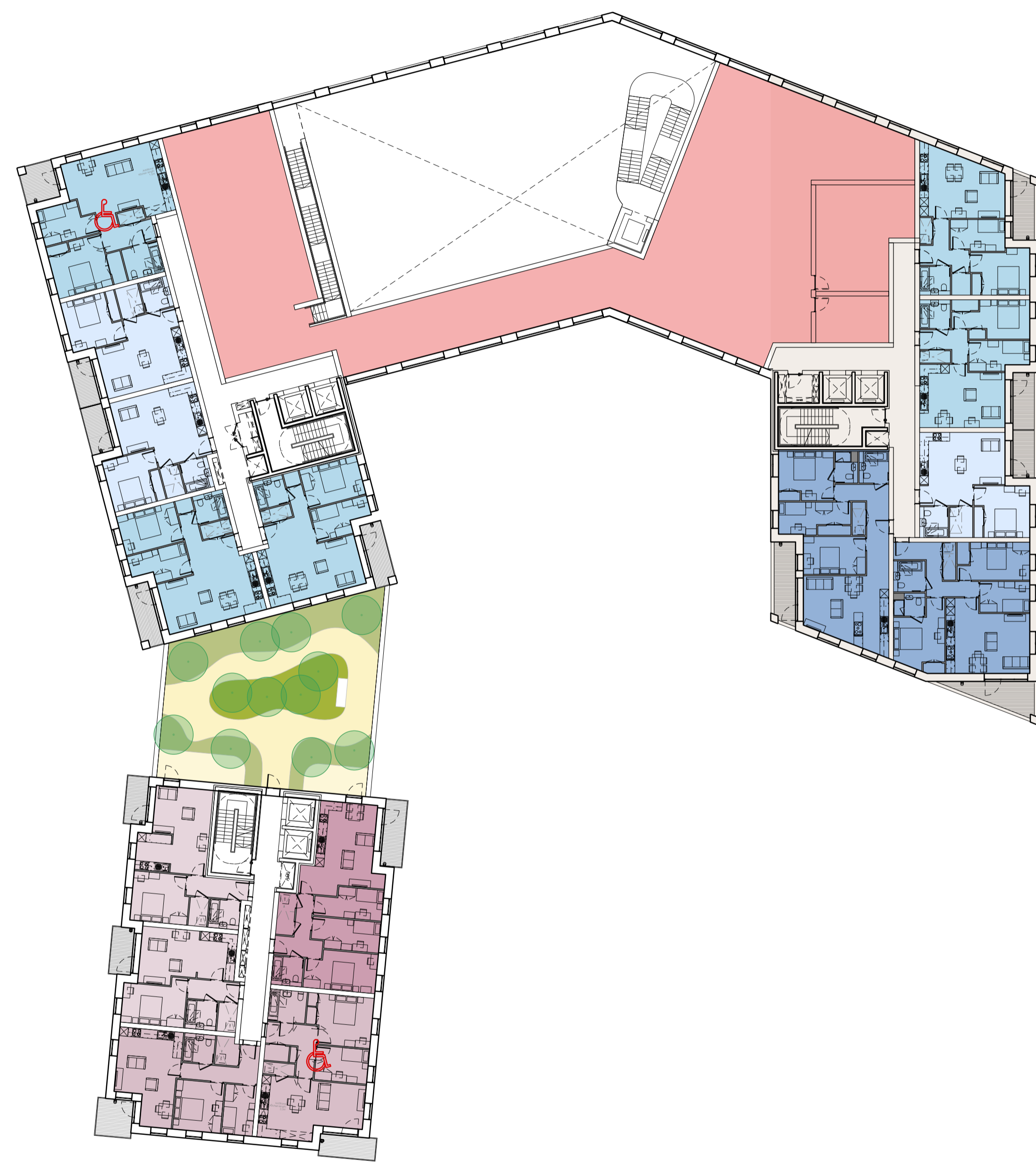
Project
 Cambridge Road

Scale
 1:250 @ A1 1:500 @ A3

Status **Revision**
 S4 - For Planning Approval **PL4**

Drawing Number
503-PTA-CZ-ZZ-DR-A-1321

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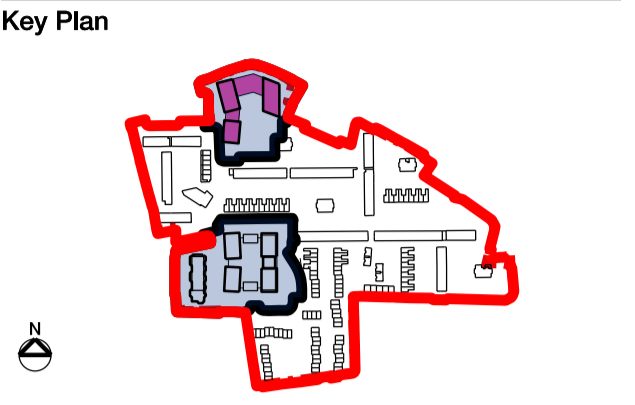


01 Level 01
 1:250



02 Level 02
 1:250

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Site Boundary

- - - Title boundary
- Planning boundary
- Detailed application boundary

Colour Code

Social Rent	Shared Equity	Private
1B2P	1B2P	1B2P
2B3P	2B3P	2B3P
2B4P	2B4P	2B4P
3B4P	3B4P	3B4P
3B5P	3B5P	3B5P
3B6P	3B6P	3B6P
4B5P		
4B6P	4B6P	4B6P
4B7P	4B7P	4B7P
4B8P	4B7P	4B7P
5B6P		
5B8P		
6B10P		

Scale 1:250 @ A1

Issue Record

	By	Chk	Date
PL2 Tenure distribution amendments	CW	RM	11.10.2021
PL1 For planning approval	CW	NE	13.11.2020

Title
 Building C1, C2 & C3
 General Arrangement
 Levels 03 to 09

Project
 Cambridge Road

Scale
 1:250 @ A1 1:500 @ A3

Status **Revision**
 S4 - For Planning Approval **PL2**

Drawing Number
503-PTA-CZ-ZZ-DR-A-1322

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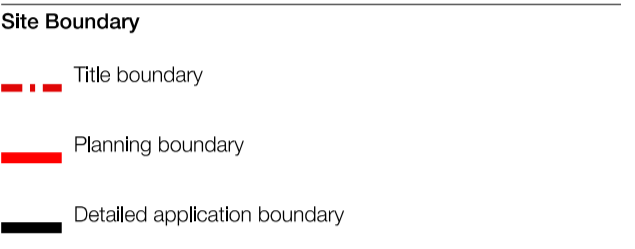
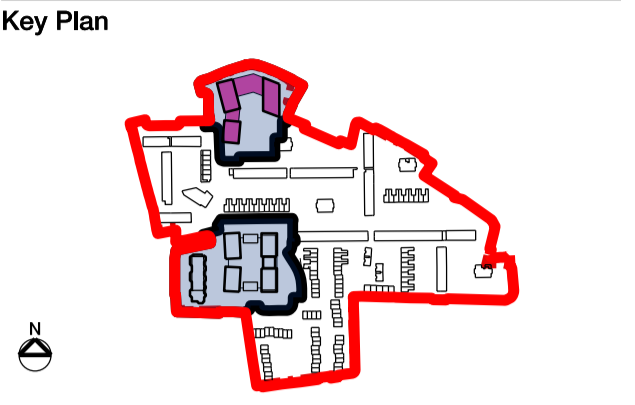


01 Levels 03
 1:250



02 Level 04 - 09
 1:250

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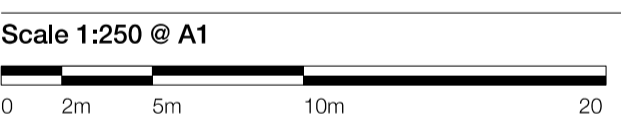


Colour Code

Social Rent	Private
1B2P	1B2P
2B3P	2B3P
2B4P	2B4P
3B4P	3B4P
3B5P	3B5P
3B6P	3B6P
4B5P	
4B6P	4B6P
4B7P	4B7P
4B8P	4B7P
5B6P	
5B8P	
6B10P	

Roof

- Biodiverse Roof
- PV's



Issue Record

By	Chk	Date
PL1		For planning approval
CW	NE	13.11.2020

Title
 Building C1, C2 & C3
 General Arrangements
 Level 10 to 12

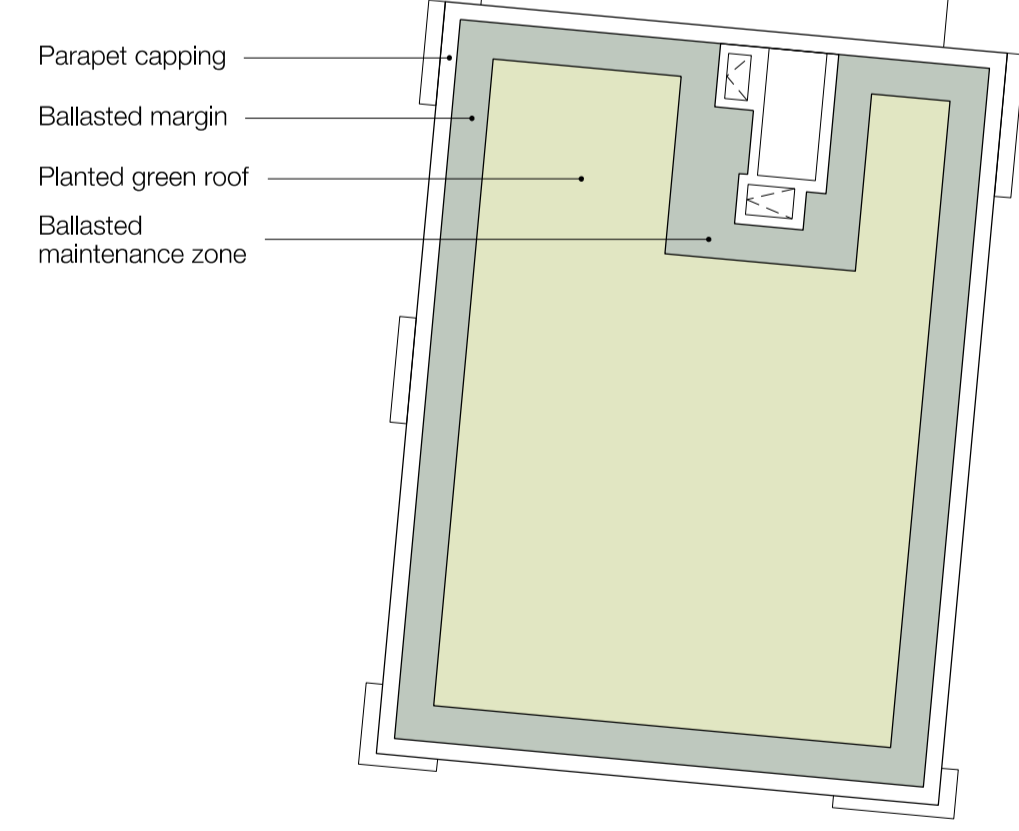
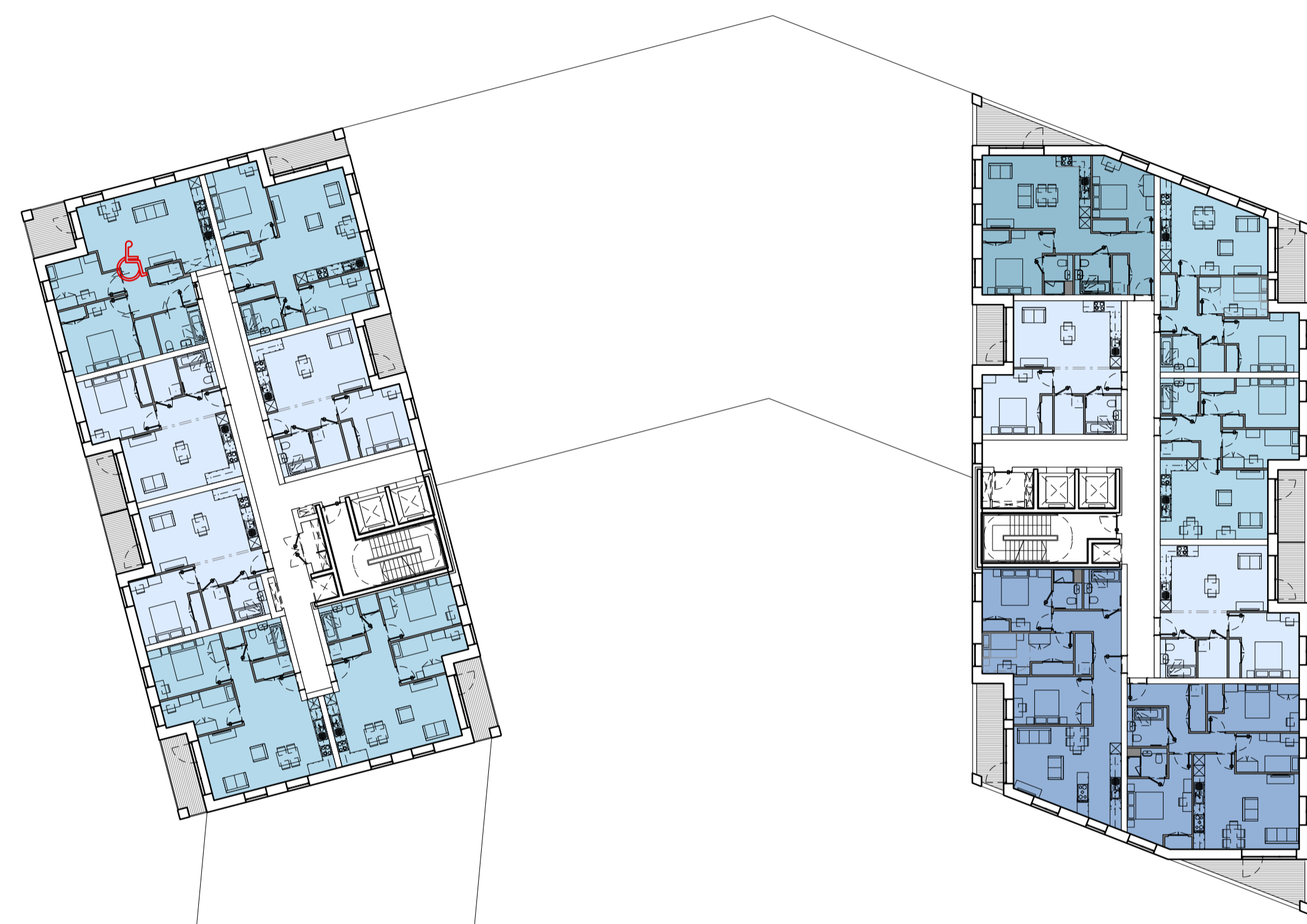
Project
 Cambridge Road

Scale
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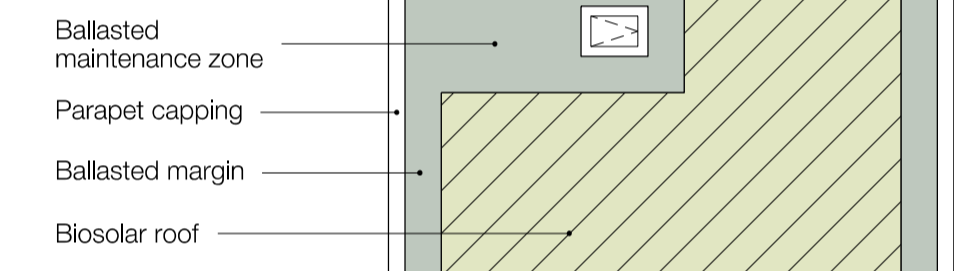
Status
 For Planning Approval

Drawing Number **Revision**
 503-PTA-CZ-ZZ-DR-A-1323 PL1

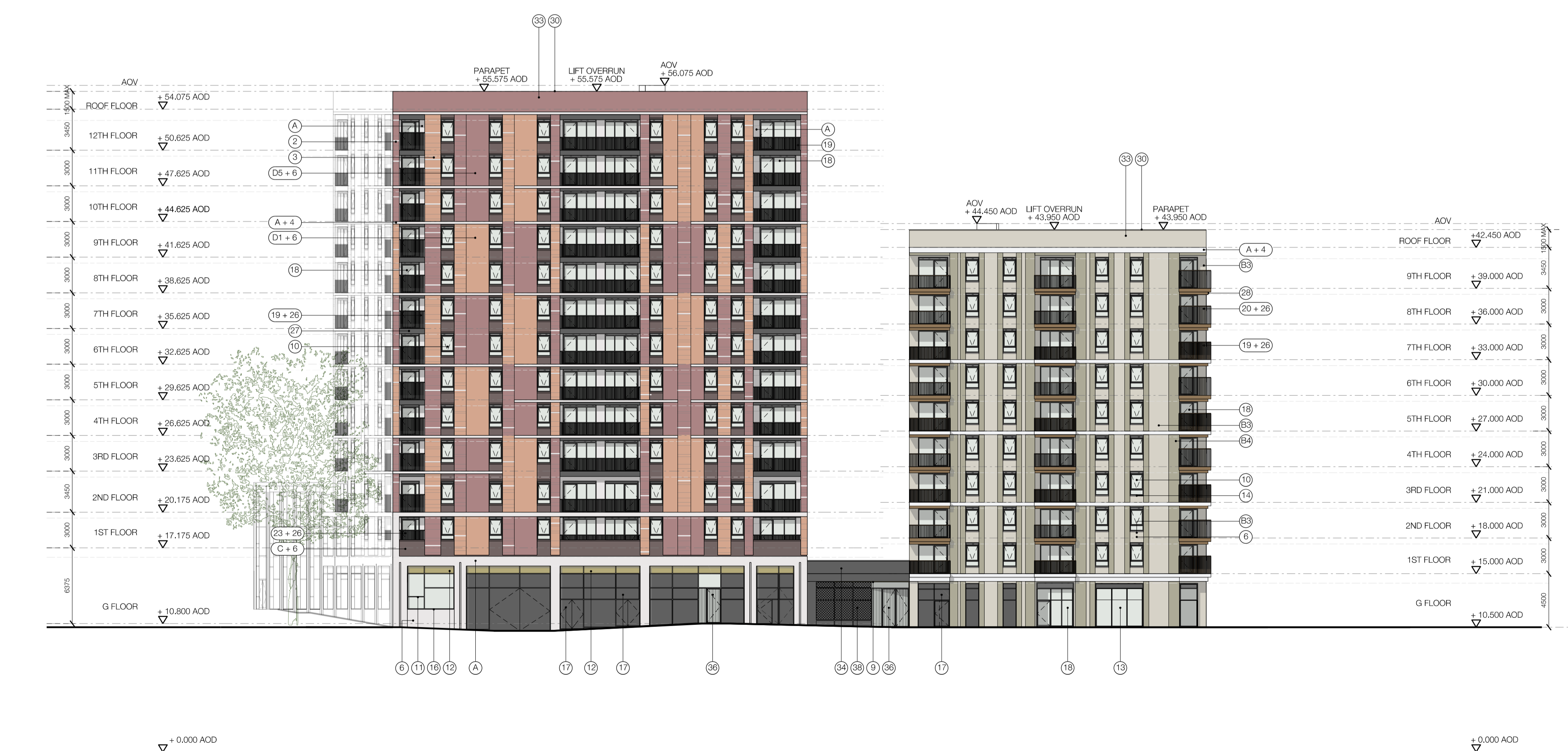
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01 Level 10 - 11
 1:250

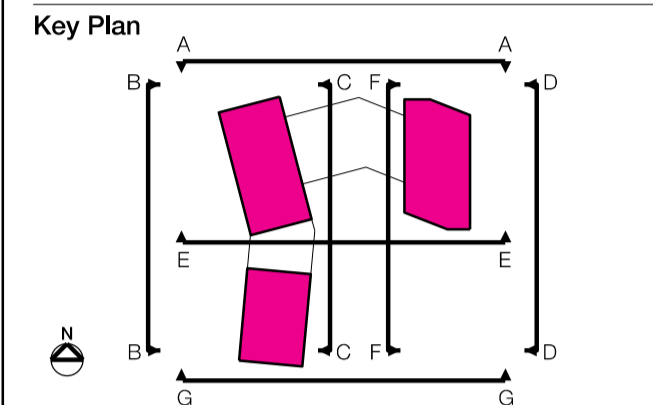
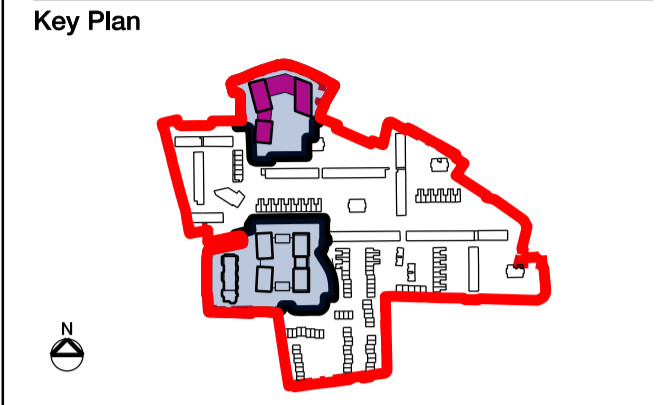


02 Level 12
 1:250



Drawing Notes
Rainwater drainage
Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

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Contractors must ensure that cross referenced drawings and specifications noted on these drawings are checked on a regular basis to ensure that the latest revisions are used.



- Material key (Building C)**
- A. White brick
 - B3. Buff brick type 3
 - B4. Buff brick type 4
 - C. Dark brick
 - D1. Red brick type 1
 - D5. Red brick type 5
 - D6. Red brick type 6
 - 1. Stretcher bond brickwork
 - 2. Dark brick pier with white accent banding
 - 3. Light brick pier with white accent banding
 - 4. Soldier course brickwork
 - 5. Recessed brickwork
 - 6. Stripped band brickwork
 - 7. Off-white masonry beam
 - 8. Bronze-coloured metal canopy system
 - 9. Metal faced outward opening window
 - 10. Shopfront/community centre curtain walling
 - 11. Integrated metal over panel / ventilation zone
 - 12. Workspace curtain walling
 - 13. White masonry sill
 - 14. Coloured masonry sill
 - 15. Metal flashing
 - 16. Metal-faced doors/ventilation panel
 - 17. Metal T-picket balustrade
 - 18. Metal-faced external door system
 - 19. Metal T-picket balustrade
 - 20. Metal picket balustrade
 - 21. Brick topped with metal picket balustrade
 - 22. Brick topped with flat metal pickets
 - 23. Brick topped with metal T-pickets.
 - 24. Perforated metal balustrade
 - 25. Perforated metal screen
 - 26. 1500mm high balcony balustrade (for wind mitigation)
 - 27. Metal, dark bronze-coloured fascia and white soffit
 - 28. Metal, mid bronze-coloured fascia and soffit
 - 29. Metal, light bronze-coloured fascia and soffit
 - 30. Masonry parapet coping
 - 31. Metal coping
 - 32. Masonry coping
 - 33. Brick parapet
 - 34. Rainscreen cladding parapet
 - 35. Metal entrance gates
 - 36. Metal rebound fence to MUGA
 - 37. Metal rebound fence to MUGA
 - 38. Dark bronze-coloured perforated metal screen.

Issue Record

By	Chk	Date
PL2	For Planning approval	NE RM 01.04.2021
PL1	For Planning approval	ILS NE 13.11.2020

Title
Building C
Elevation A-A, B-B

Project
Cambridge Road

Scale
1:250 @ A1 1:500 @ A3

Status
For Planning Approval

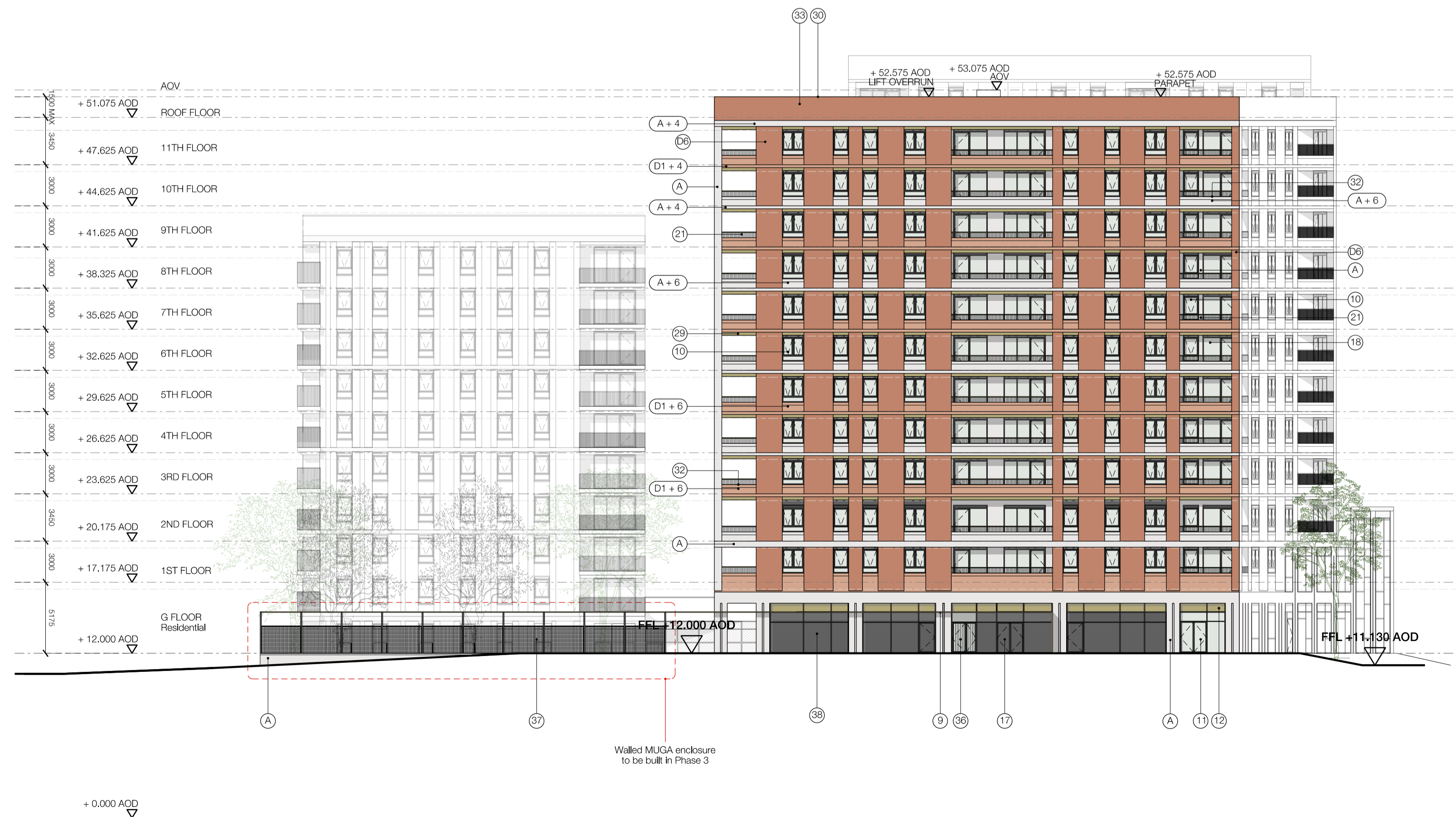
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Revision PL2

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01 Elevation C-C - Buildings C3/C1 East
1:250



01 Elevation D-D (east)
1:250



Drawing Notes

Rainwater drainage
Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

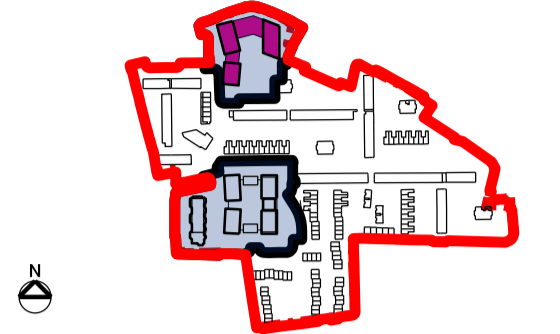
General Notes

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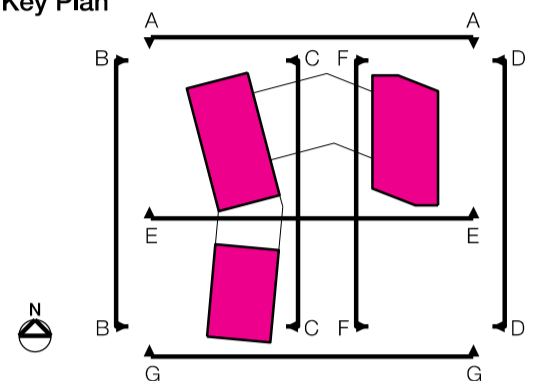
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Key Plan



Key Plan



Material key (Building C)

- A. White brick
 - B3. Buff brick type 3
 - B4. Buff brick type 4
 - C. Dark brick
 - D1. Red brick type 1
 - D5. Red brick type 5
 - D6. Red brick type 6
1. Stretcher bond brickwork
 2. Dark brick pier with white accent banding
 3. Light brick pier with white accent banding
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 5. Recessed brickwork
 6. Stripped band brickwork
 7. Off-white masonry beam
 8. Bronze-coloured metal canopy system
 9. Metal faced outward opening window
 10. Shopfront/community centre curtain walling
 11. Integrated metal over panel / ventilation zone
 12. Workspace curtain walling
 13. White masonry sill
 14. Coloured masonry sill
 15. Metal flashing
 16. Metal-faced doors/ventilation panel
 17. Metal-faced external door system
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 19. Metal picket balustrade
 20. Brick topped with metal picket balustrade
 21. Brick topped with flat metal pickets
 22. Brick topped with metal T-pickets.
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 24. Perforated metal screen
 25. 1500mm high balcony balustrade (for wind mitigation)
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 28. Metal, light bronze-coloured fascia and soffit
 29. Masonry parapet coping
 30. Metal coping
 31. Masonry coping
 32. Brick parapet
 33. Rainscreen cladding parapet
 34. Metal entrance gates
 35. Metal rebound fence to MUGA
 36. Metal rebound fence to MUGA
 37. Metal rebound fence to MUGA
 38. Dark bronze-coloured perforated metal screen.

Issue Record

Issue	By	Chk	Date
PL2 For Planning approval	NE	RM	30.03.2021
PL1 For Planning approval	ILS	NE	13.11.2020

Title
Building C
Elevation C-C, D-D

Project
Cambridge Road

Scale
1:250 @ A1 1:500 @ A3

Status
For Planning Approval

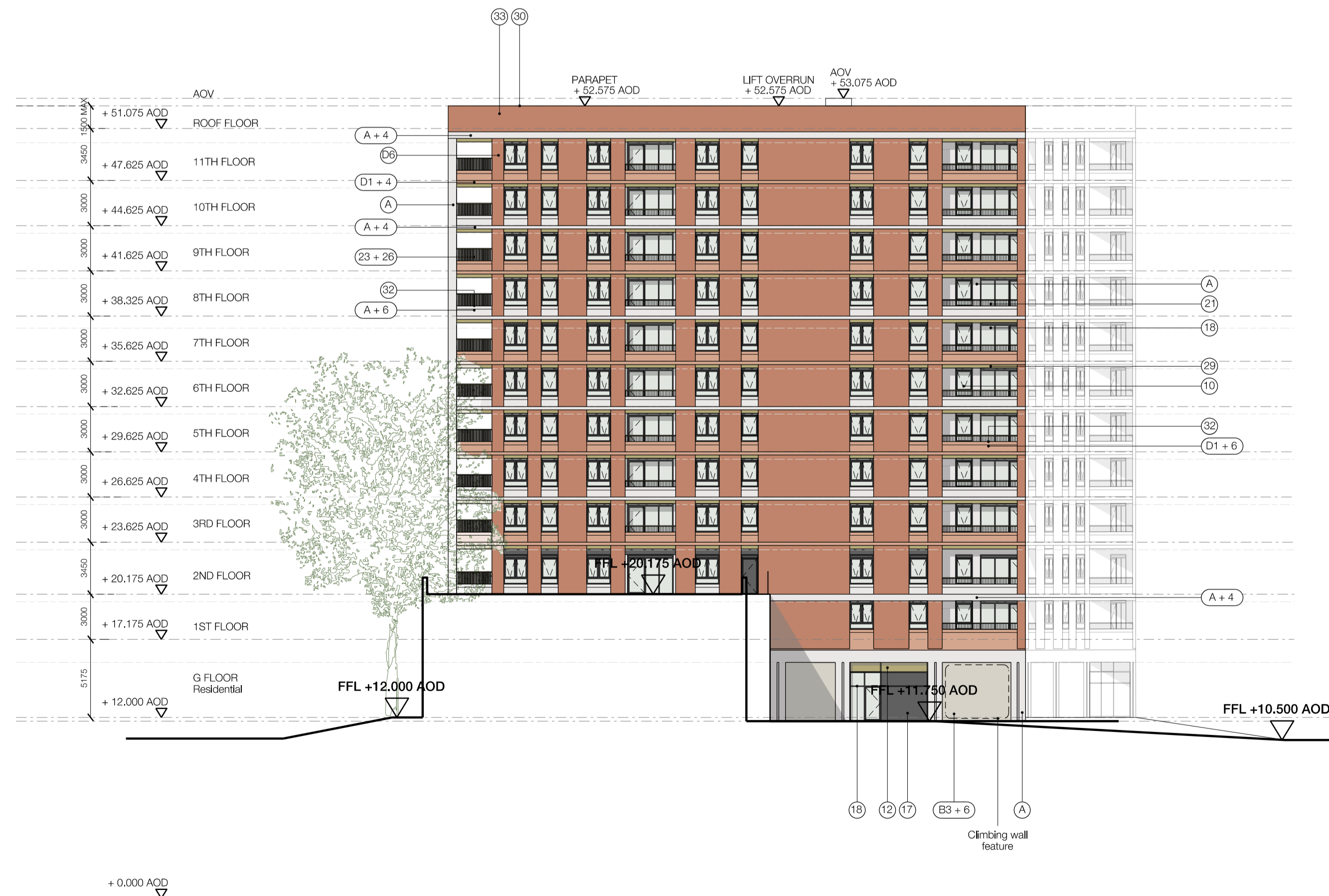
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01 Elevation E-E - Buildings C1/C2 South
1:250



02 Elevation F-F - Building C2 West
1:250



Drawing Notes

Rainwater drainage

Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

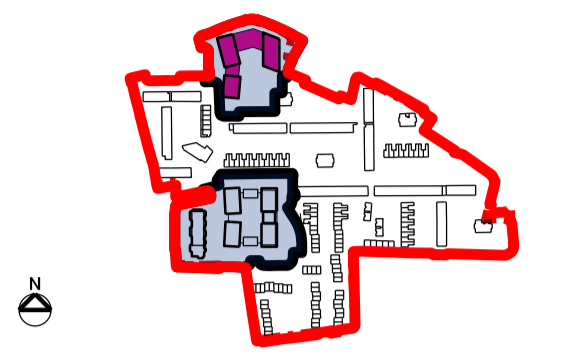
General Notes

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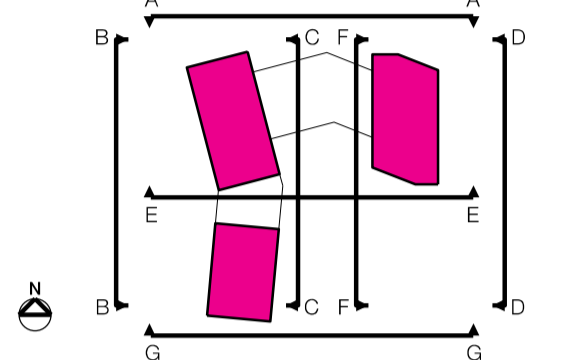
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Key Plan



Key Plan



Material Key (Building C)

- A. White brick
- B3. Buff brick type 3
- B4. Buff brick type 4
- C. Dark brick
- D1. Red brick type 1
- D5. Red brick type 5
- D6. Red brick type 6
- 1. Stretcher bond brickwork
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- 3. Light pier brick with white accent banding
- 4. Soldier course brickwork
- 5. Recessed brickwork
- 6. Stripped band brickwork
- 7. Off-white masonry beam
- 9. Bronze-coloured metal canopy system
- 10. Metal faced outward opening window
- 11. Shopfront/community centre curtain walling
- 12. Integrated metal over panel / ventilation zone
- 13. Workspace curtain walling
- 14. White masonry sill
- 15. Coloured masonry sill
- 16. Metal flashing
- 17. Metal-faced doors/ventilation panel
- 18. Metal-faced external door system
- 19. Metal T-picket balustrade
- 20. Metal picket balustrade
- 21. Brick topped with metal picket balustrade
- 22. Brick topped with flat metal pickets
- 23. Brick topped with metal T-pickets.
- 24. Perforated metal balustrade
- 25. Perforated metal screen
- 26. 1500mm high balcony balustrade (for wind mitigation)
- 27. Metal, dark bronze-coloured fascia and white soffit
- 28. Metal, mid bronze-coloured fascia and soffit
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- 30. Masonry parapet coping
- 31. Metal coping
- 32. Masonry coping
- 33. Brick parapet
- 34. Rainscreen cladding parapet
- 35. Metal entrance gates
- 37. Metal rebound fence to MUGA
- 38. Dark bronze-coloured perforated metal screen.

Issue Record

By	Chk	Date
PL2	For planning approval	NE RM 30.03.2021
PL1	For planning approval	ILS NE 13.11.2020

Title

Building C
Elevation E-E, F-F

Project

Cambridge Road

Scale

1:250 @ A1 1:500 @ A3

Status

For Planning Approval

Drawing Number

503-PTA-CZ-ZZ-DR-A-1912

Revision

PL2

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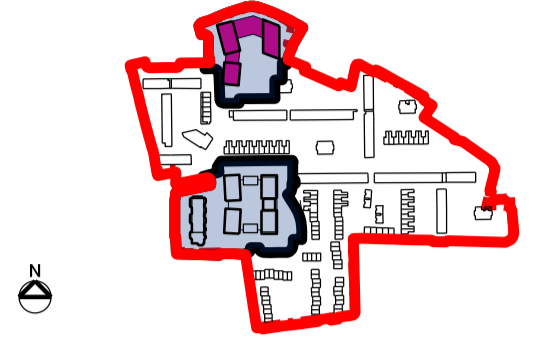
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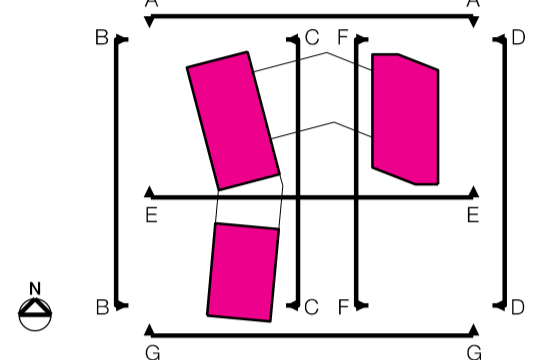
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Key Plan



Key Plan



Material key (Building C)

- A. White brick
 - B3. Buff brick type 3
 - B4. Buff brick type 4
 - C. Dark brick
 - D1. Red brick type 1
 - D5. Red brick type 5
 - D6. Red brick type 6
1. Stretcher bond brickwork
 2. Dark brick pier with white accent banding
 3. Light brick pier with white accent banding
 4. Soldier course brickwork
 5. Recessed brickwork
 6. Striped band brickwork
 7. Off-white masonry beam
 9. Bronze-coloured metal canopy system
 10. Metal faced outward opening window
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 12. Integrated metal pwr panel / ventilation zone
 13. Workspace curtain walling
 14. White masonry sill
 15. Coloured masonry sill
 16. Metal flashing
 17. Metal-faced doors/ventilation panel
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 19. Metal T-picket balustrade
 20. Metal picket balustrade
 21. Brick topped with metal picket balustrade
 22. Brick topped with flat metal pickets
 23. Brick topped with metal T-pickets
 24. Perforated metal balustrade
 25. Perforated metal screen
 26. 1500mm high balcony balustrade (for wind mitigation)
 27. Metal, dark bronze-coloured fascia and soffit
 28. Metal, mid bronze-coloured fascia and soffit
 29. Metal, light bronze-coloured fascia and soffit
 30. Masonry parapet coping
 31. Metal coping
 32. Masonry coping
 33. Brick parapet
 34. Rainscreen cladding parapet
 35. Metal entrance gates
 37. Metal rebound fence to MUGA
 38. Dark bronze-coloured perforated metal screen.



01 Elevation G-G (south)
1:250

Drawing Notes
Rainwater drainage
Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

Issue Record By Chk Date

PL1	For planning approval	ILS	NE	13.11.2020
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Title
Building C
Elevation G-G

Project
Cambridge Road

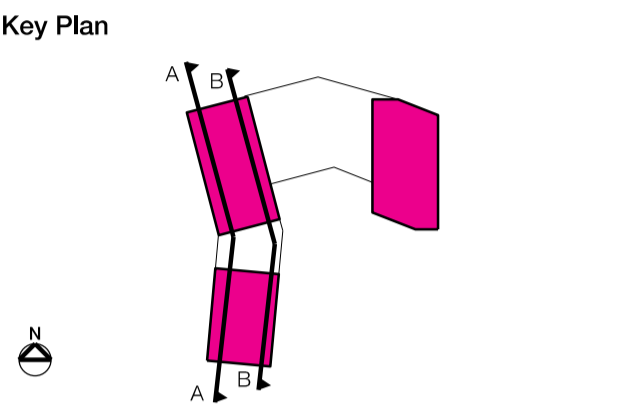
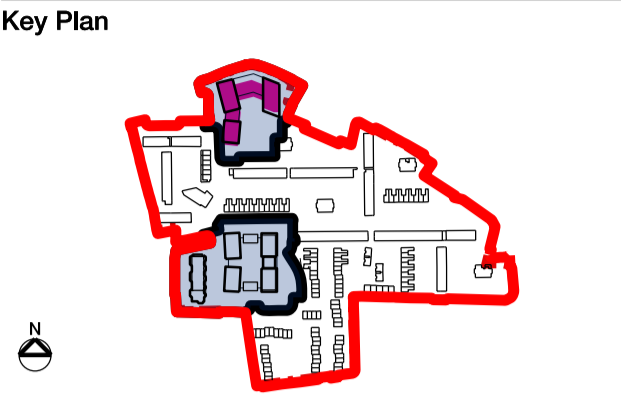
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Status
For Planning Approval

Drawing Number 503-PTA-CZ-ZZ-DR-A-1913
Revision PL1

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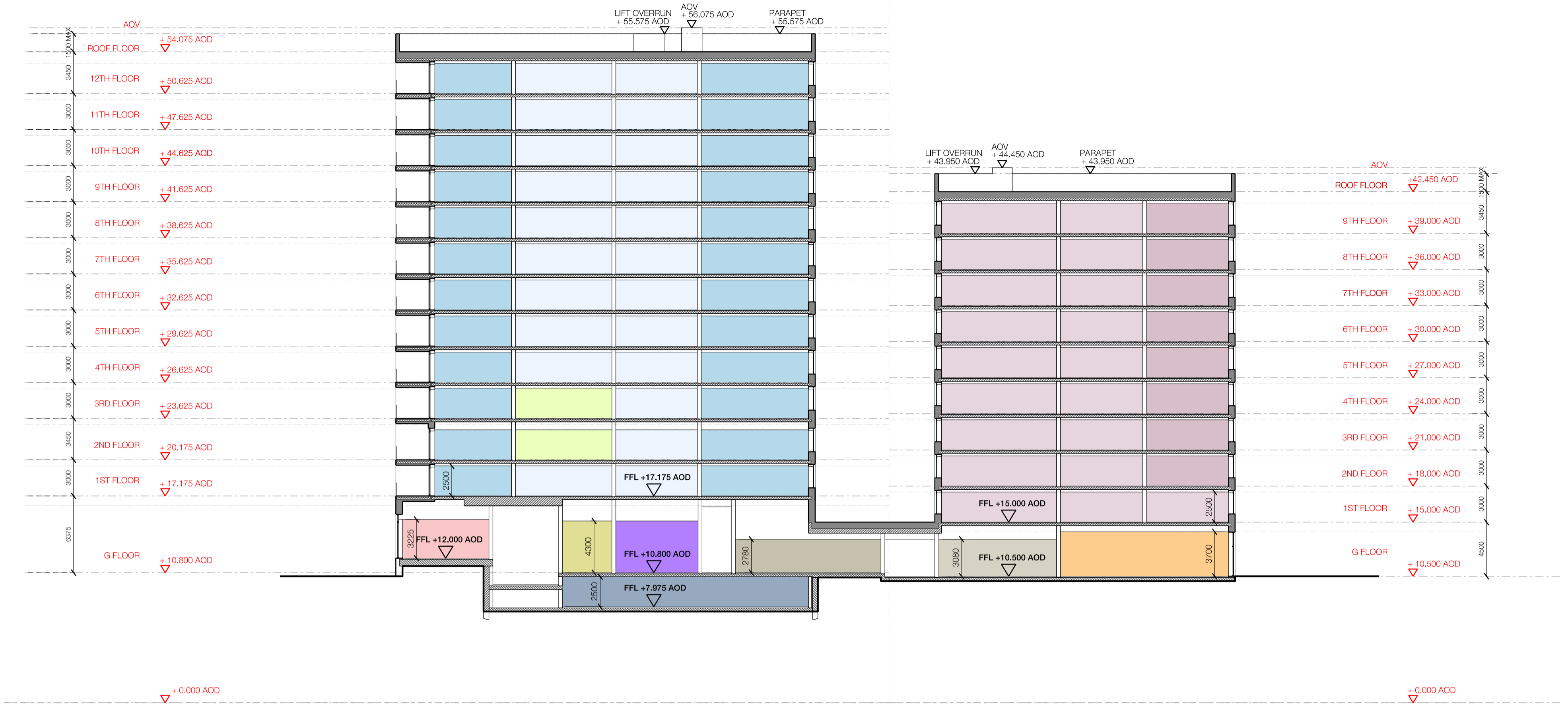
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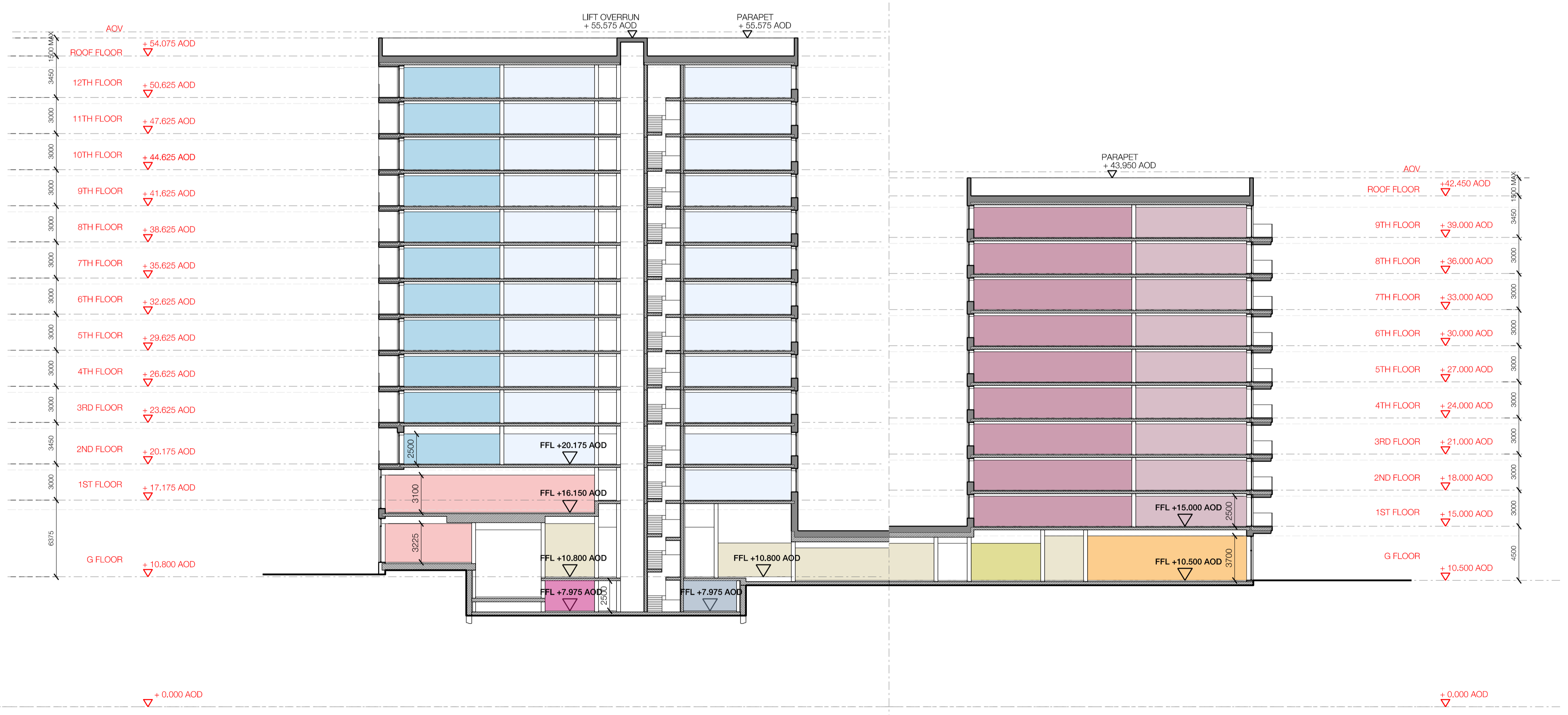
Colour Key

Residential		
Social Rent	Private	Ancillary
1B2P		Plant
2B3P	2B3P	Substation
2B4P	2B4P	Refuse
3B4P	3B5P	Cycle Storage
Shared Equity		
1B2P		
Non-Residential		
Community Centre	Retail	Workspace
Storage	Water Tank & Pumps	

01 Section A-A
1:250



02 Section B-B
1:250



Drawing Notes
 Rainwater drainage
 Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
 Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

Issue Record

By	Chk	Date
PL1	For planning approval	ILS NE 13.11.2020

Title
 Building C
 Section A-A B-B

Project
 Cambridge Road

Scale
 1:250 @ A1 1:500 @ A3

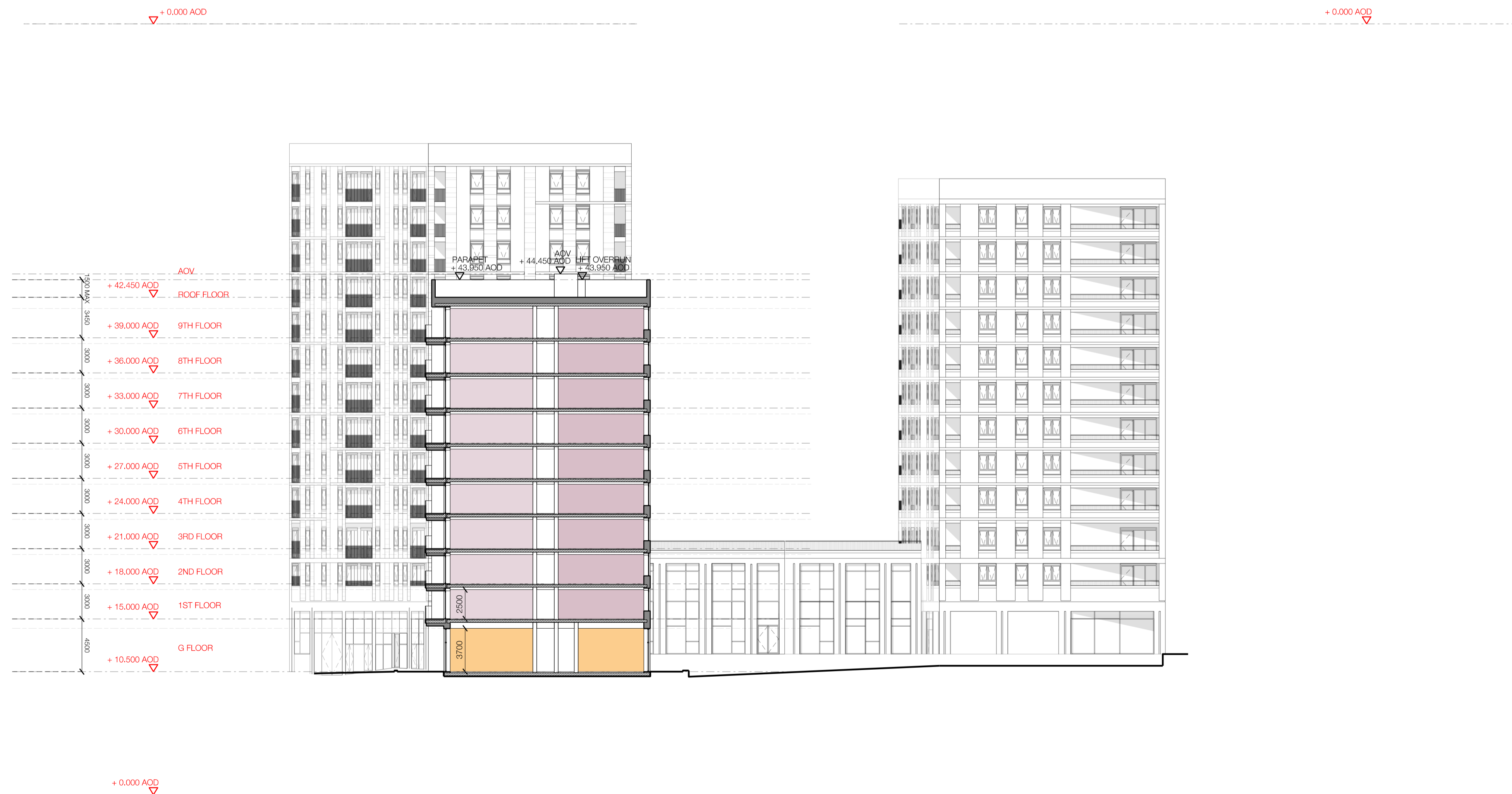
Status
 For Planning Approval

Drawing Number 503-PTA-CZ-ZZ-DR-A-1914 **Revision** PL1

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01 Section C-C
1:250



02 Section D-D
1:250

Drawing Notes

Rainwater drainage
Building roofs and residential balconies will be positively drained with external rainwater downpipes discreetly located where possible in semi-enclosed or fully inset balcony recesses.
Drainage details will be developed in the next stage of design and submitted for approval by discharge of Condition

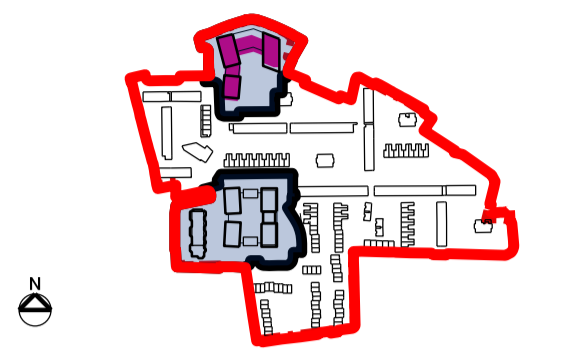
General Notes

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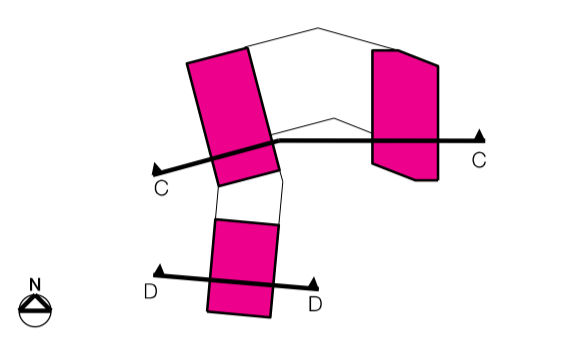
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Key Plan



Key Plan



Colour Key

Residential		
Social Rent	Private	Ancillary
1B2P		Plant
2B3P	2B3P	Substation
2B4P	2B4P	Refuse
3B4P	3B5P	Cycle Storage
Shared Equity		
	1B2P	
Non-Residential		
Community Centre	Retail	Workspace
Storage	Water Tank & Pumps	

Issue Record

By	Chk	Date
PL1		For planning approval
CW	NE	13.11.2020

Title
Building C
Section C-C D-D

Project
Cambridge Road

Scale
1:250 @ A1 1:500 @ A3

Status
For Planning Approval

Drawing Number 503-PTA-CZ-ZZ-DR-A-1915
Revision PL1

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