

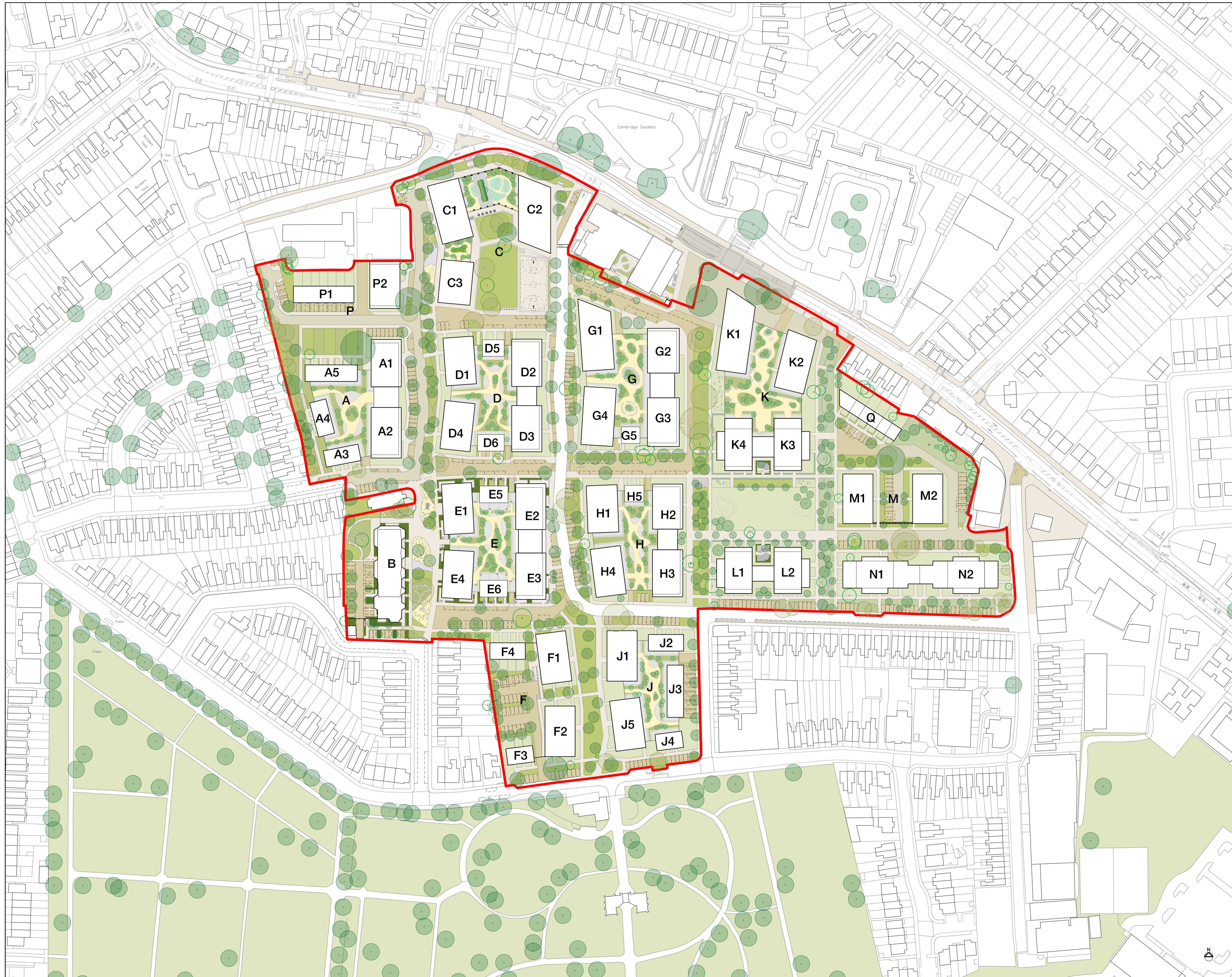
# CAMBRIDGE ROAD ESTATE – PLANNING APPLICATION 20/02942/FUL

## MASTERPLAN: ILLUSTRATIVE PLANS

**\*\*UPDATED DOCUMENT\*\***

**Update to the Illustrative masterplan (503-PTA-MP-RF-DR-A-1201 Rev PL4) and Illustrative building heights vertical parameter overlay (503-PTA-MP-XX-DR-A-5409 PL1) made in June 2021 as shown below. All other drawings as previously submitted in November 2020.**

<b>Masterplan - Illustrative plans</b>					<b>For Information</b>
503-PTA-MP-RF-DR-A-1201	PL4	Illustrative masterplan	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5400	PL1	Illustrative building block plan	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5401	PL1	Illustrative development plot heights	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5402	PL1	Illustrative access and servicing	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5403	PL1	Illustrative principal uses at ground floor	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5404	PL1	Illustrative principal uses upper floor	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5405	PL1	Illustrative public realm	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5407	PL1	Illustrative development phasing plan	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5408	PL1	Illustrative principal uses at first floor	1:1000	A1	For Information
503-PTA-MP-XX-DR-A-5409	PL1	Illustrative building heights vertical parameter overlay	1:1000	A1	For Information



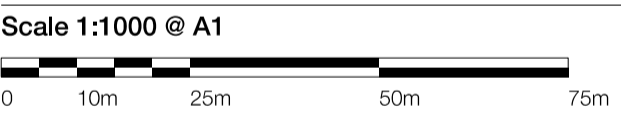
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**Client**  
 Countryside  
 Aurora House  
 71 - 75 Uxbridge Road  
 London W5 5SL

**Architect**  
 Patel Taylor  
 48 Rawstorne Street  
 London  
 EC1V 7ND

**Site Boundary**  
 Planning boundary



**Issue Record**

By	Chk	Date
PL4	AM	07.05.2021
PL3	EP	30.03.2021
PL2	TS	16.11.2020
PL1	AK	13.11.2020

**Title**  
 Proposed masterplan  
 Ground floor plan

**Project**  
 Cambridge Road

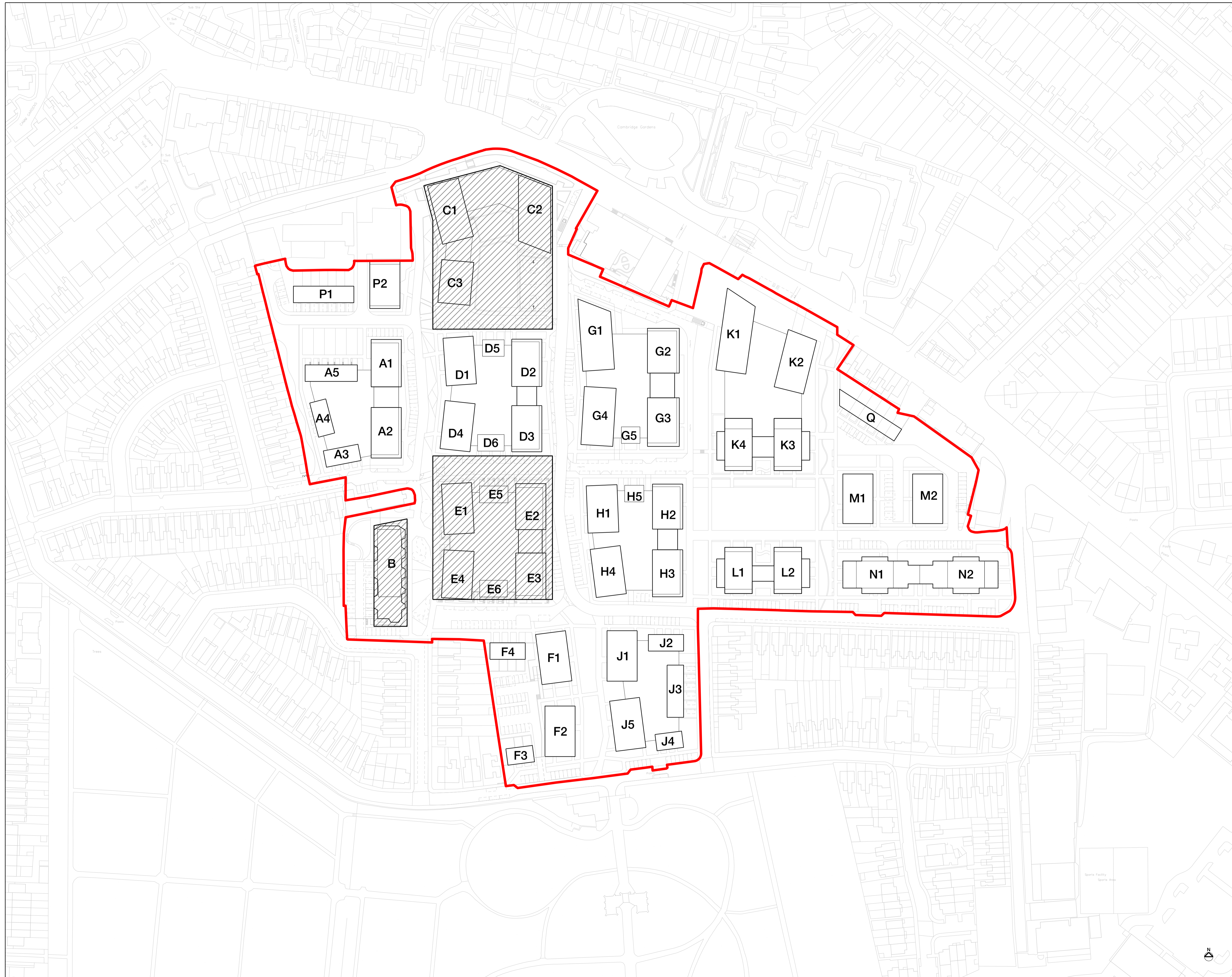
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**Status**  
 For Planning

**Revision**  
 PL4

**Drawing Number**  
 503-PTA-MP-RF-DR-A-1201

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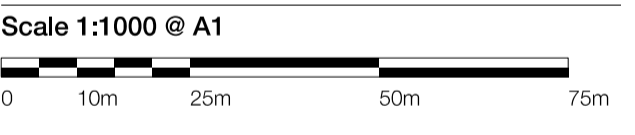
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**Client** Countryside  
 79 Enfield Road  
 London  
 W3 3RB

**Architect** Patel Taylor  
 48 Rawstorne Street  
 London  
 EC1V 7ND

- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - Building Line



Issue Record	By	Chk	Date
PL1 For Planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Illustrative building block plan

**Project**  
 Cambridge Road

**Scale**  
 1:1000 @ A1      1:2000 @ A3

**Status**  
 For Planning

**Drawing Number**      **Revision**  
 503-PTA-MP-XX-DR-A-5400      PL1

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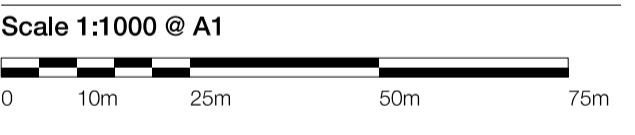
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 London  
 W3 3RB

**Architect** Patel Taylor  
 48 Rawstorne Street  
 London  
 EC1V 7ND

- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - M1 Building Line
  - G+9 Building Storey Height



Issue Record	By	Chk	Date
PL1 For planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Illustrative building heights

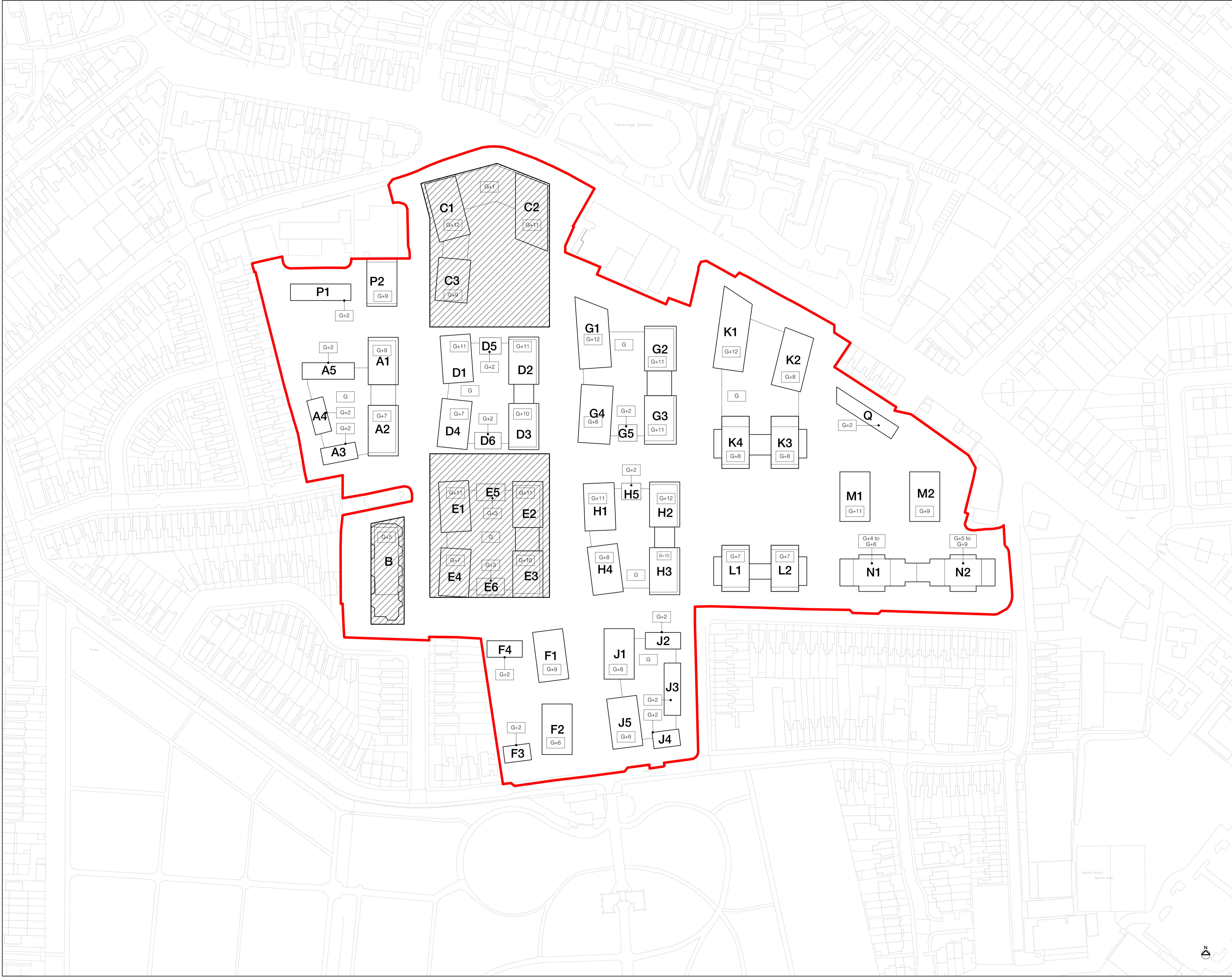
**Project**  
 Cambridge Road

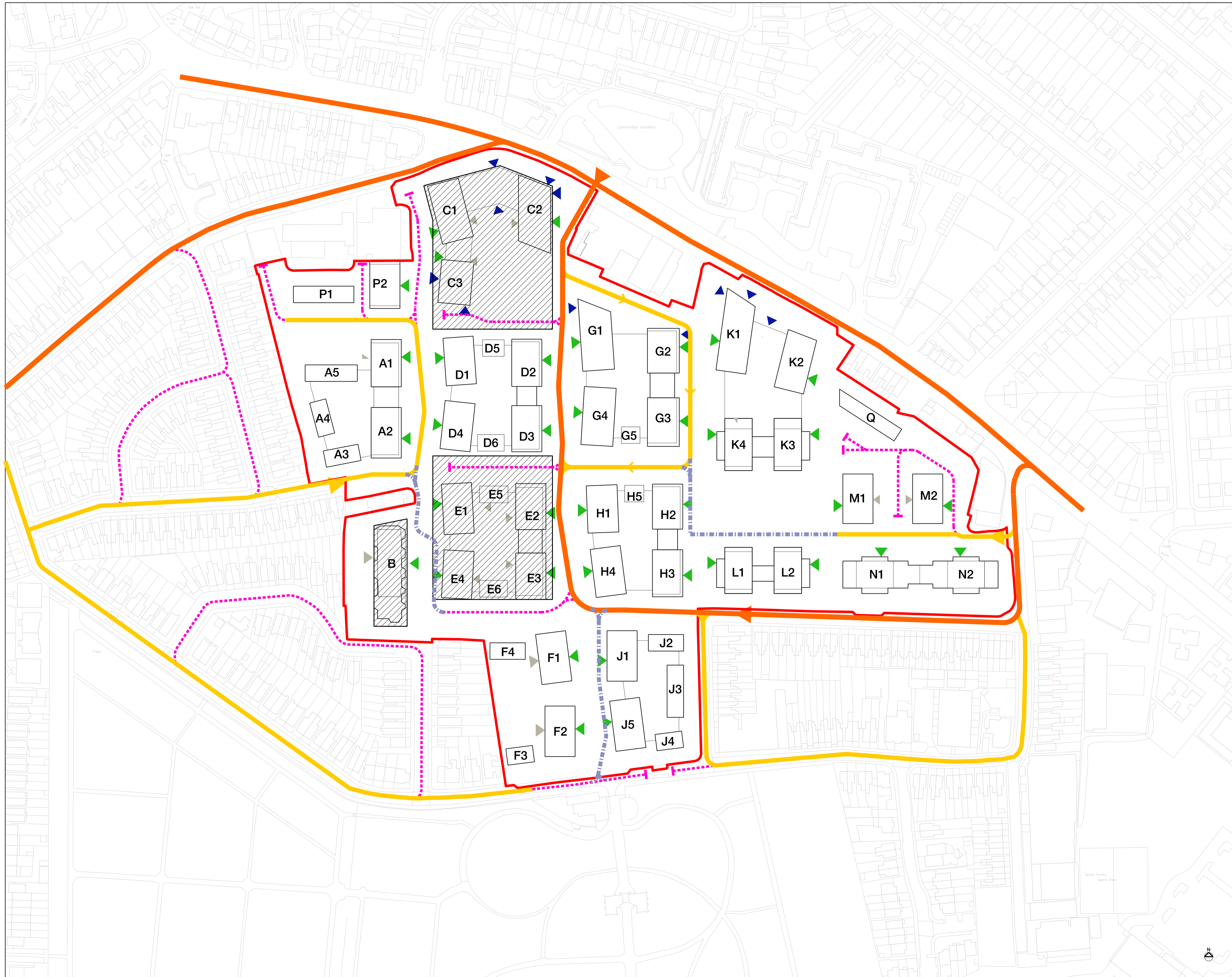
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**Status**  
 For Planning

**Drawing Number** 503-PTA-MP-XX-DR-A-5401      **Revision** PL1

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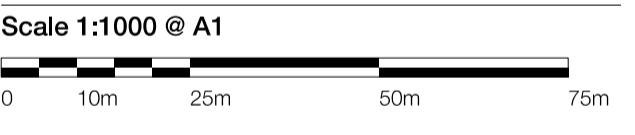
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- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - M1 Building Line
  - ▶ Residential core primary access
  - ▶ Residential core secondary access
  - ▶ Non-residential entrance
  - Primary vehicle route
  - Secondary vehicle route
  - Tertiary vehicle route
  - Servicing access only



Issue Record	By	Chk	Date
PL1 For planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Illustrative access and servicing

**Project**  
 Cambridge Road

**Scale**  
 1:1000 @ A1      1:2000 @ A3

**Status**  
 For Planning

**Drawing Number** 503-PTA-MP-XX-DR-A-5402  
**Revision** PL1

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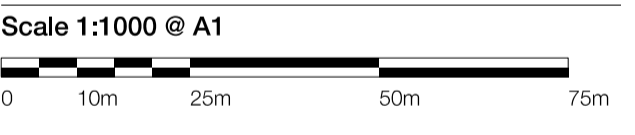
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**Architect** Patel Taylor  
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- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - M1 Building Line
  - Predominantly residential (Use class C3, Plant, Ancillary C3)
  - Predominantly community floorspace (Use class F2)
  - Flexible retail/commercial floorspace (Use class E, F2)
  - Flexible office (Use class E)



Issue Record	By	Chk	Date
PL1 For planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Principle uses at ground floor

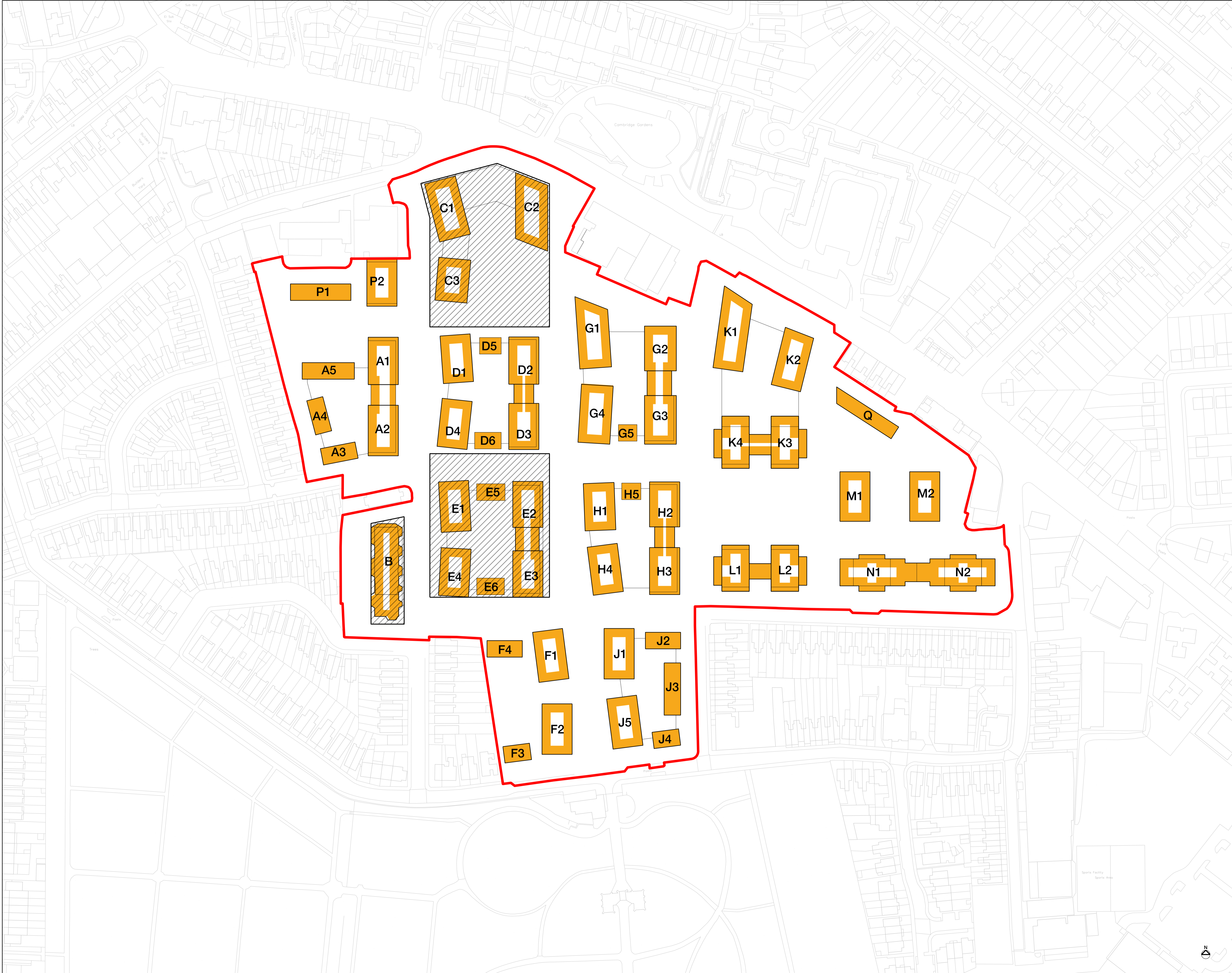
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 Cambridge Road

**Scale**  
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**Status**  
 For Planning

**Drawing Number** 503-PTA-MP-XX-DR-A-5403  
**Revision** PL1

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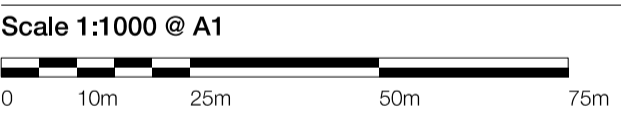
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**Architect** Patel Taylor  
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- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - M1 Building Line
  - Predominantly residential (Use class C3, Plant, Ancillary C3)
  - Predominantly community floorspace (Use class F2)
  - Flexible retail/commercial floorspace (Use class E, F2)
  - Flexible office (Use class E)



Issue Record	By	Chk	Date
PL1 For planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Principle uses at upper levels

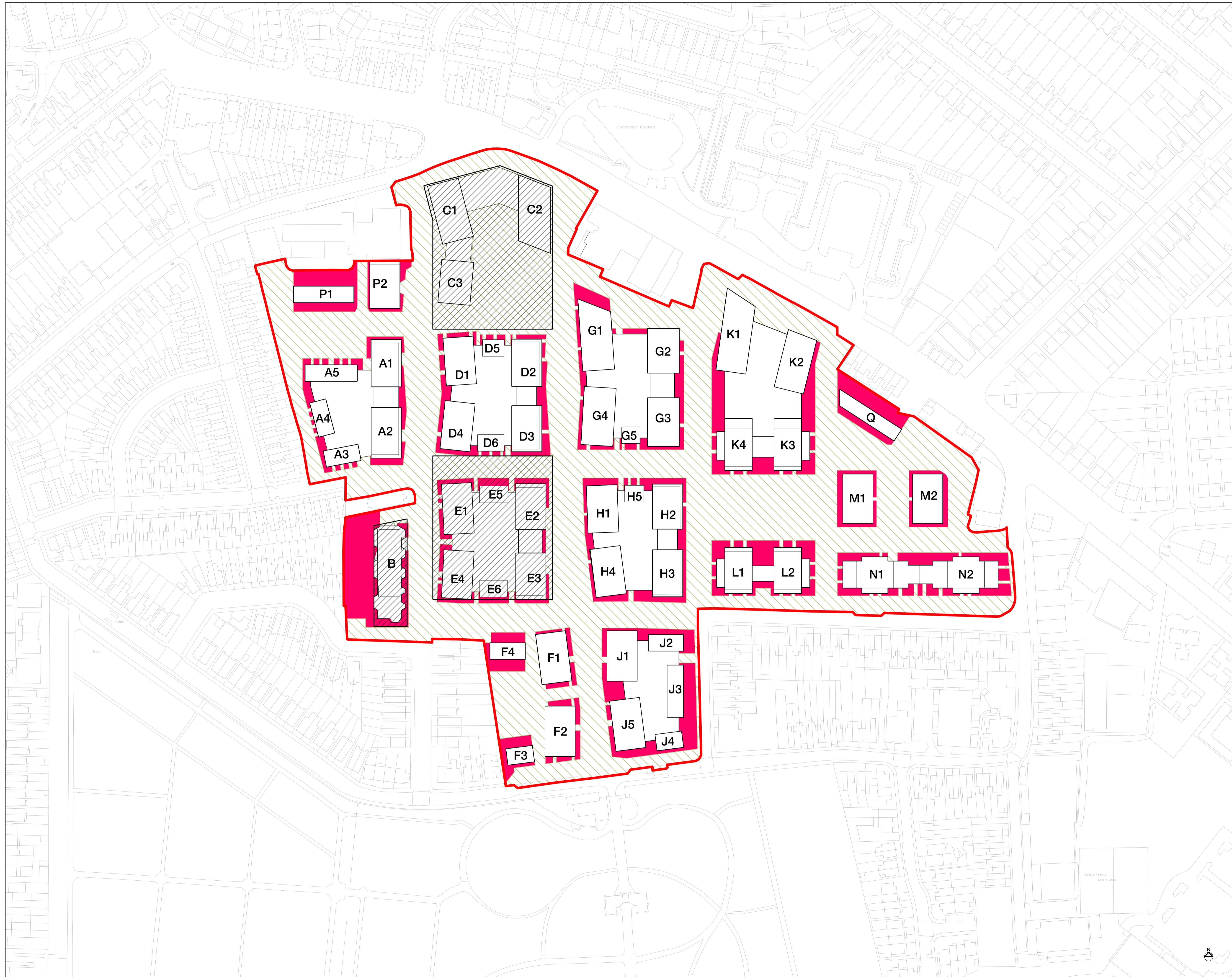
**Project**  
 Cambridge Road

**Scale**  
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**Status**  
 For Planning

**Drawing Number**      **Revision**  
 503-PTA-MP-XX-DR-A-5404      PL1

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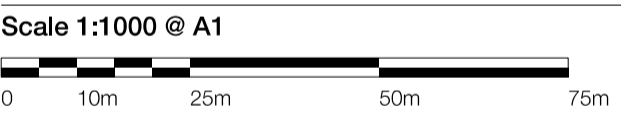
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 London  
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**Architect** Patel Taylor  
 48 Rawstorne Street  
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- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - Building Line
  - Private and Semi-private space
  - Extent of public realm



Issue Record	By	Chk	Date
PL1 For planning	CW	NE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Illustrative public realm

**Project**  
 Cambridge Road

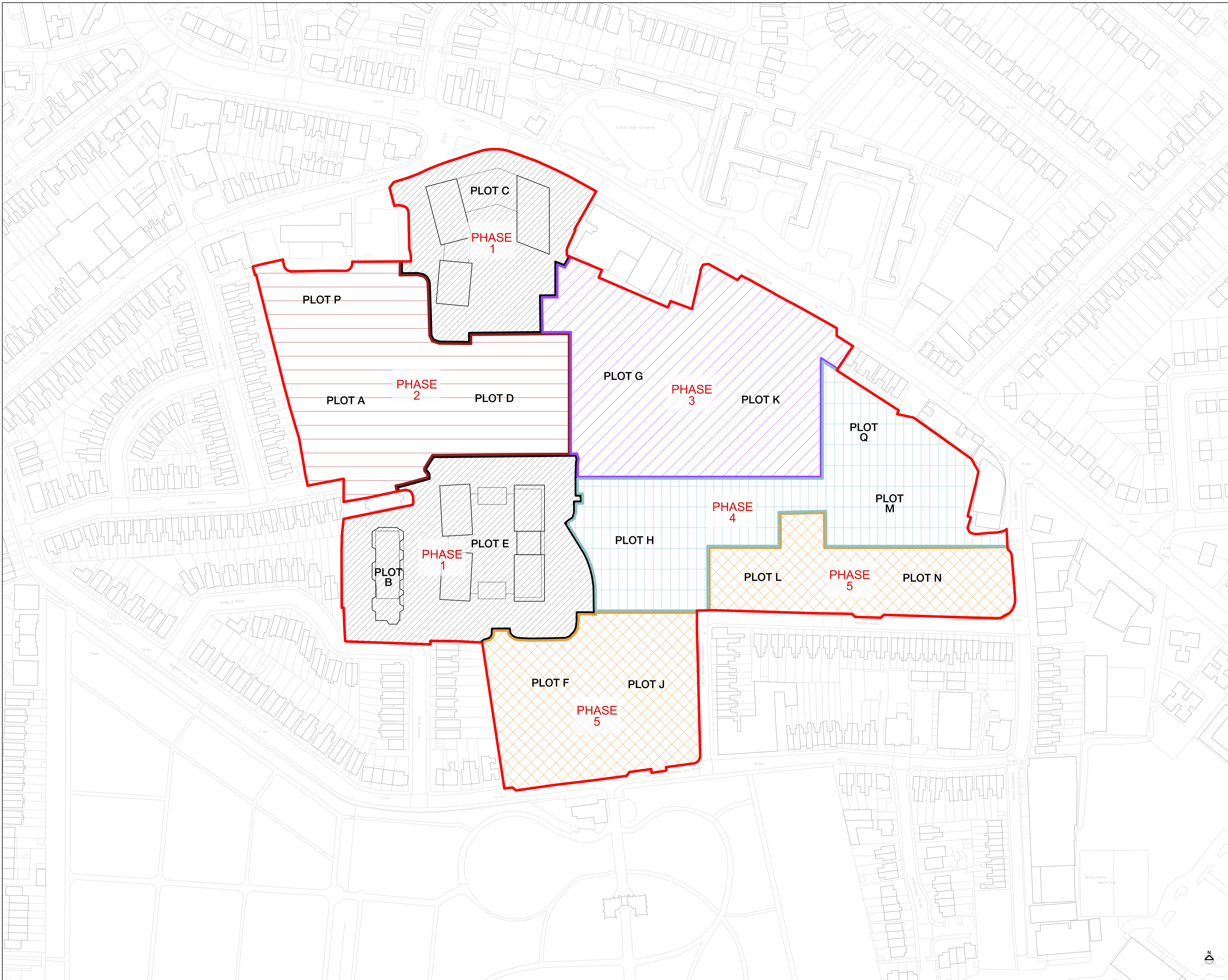
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**Status**  
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**Drawing Number**      **Revision**  
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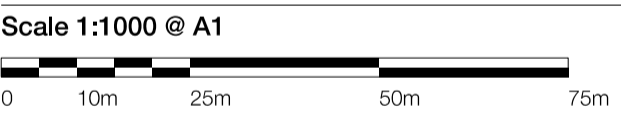
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 Countryside  
 79 Enfield Road  
 London  
 W3 3RB

**Architect**  
 Patel Taylor  
 48 Rawstorne Street  
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 EC1V 7ND

- Legend**
- Cambridge Road Estate (CRE) planning application boundary
  - Development Plot
  - PHASE 2
  - Phase 1 showing building plots B/C/E within the detailed component
  - Phase 3
  - Phase 4
  - Phase 5



Issue Record	By	Chk	Date
PL1 For planning	CW	PE	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Development Phasing plan

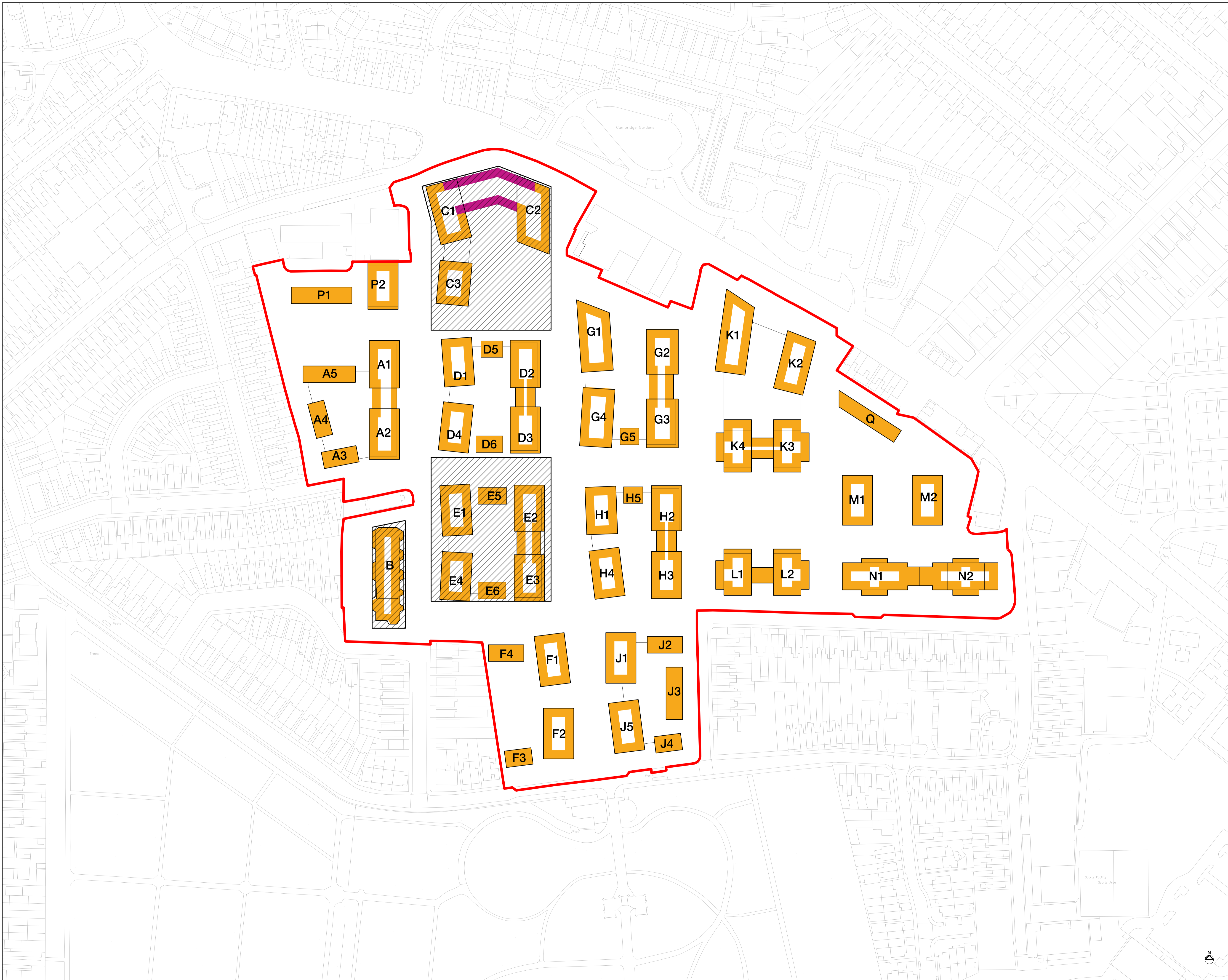
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 Cambridge Road

**Scale**  
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**Status**  
 For Planning

**Drawing Number**      **Revision**  
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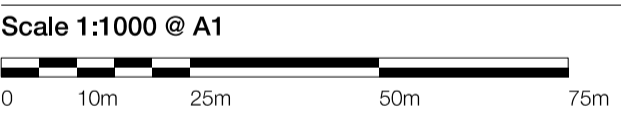
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**Client** Countryside  
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 London  
 W3 3RB

**Architect** Patel Taylor  
 48 Rawstorne Street  
 London  
 EC1V 7ND

- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - M1 Building Line
  - Predominantly residential (Use class C3, Plant, Ancillary C3)
  - Predominantly community floorspace (Use class F2)
  - Flexible retail/commercial floorspace (Use class E, F2)
  - Flexible office (Use class E)



Issue Record	By	Chk	Date
PL1 For planning	CW	RM	13.11.2020

**Title**  
 Masterplan Illustrative Plan  
 Principle uses at first floor

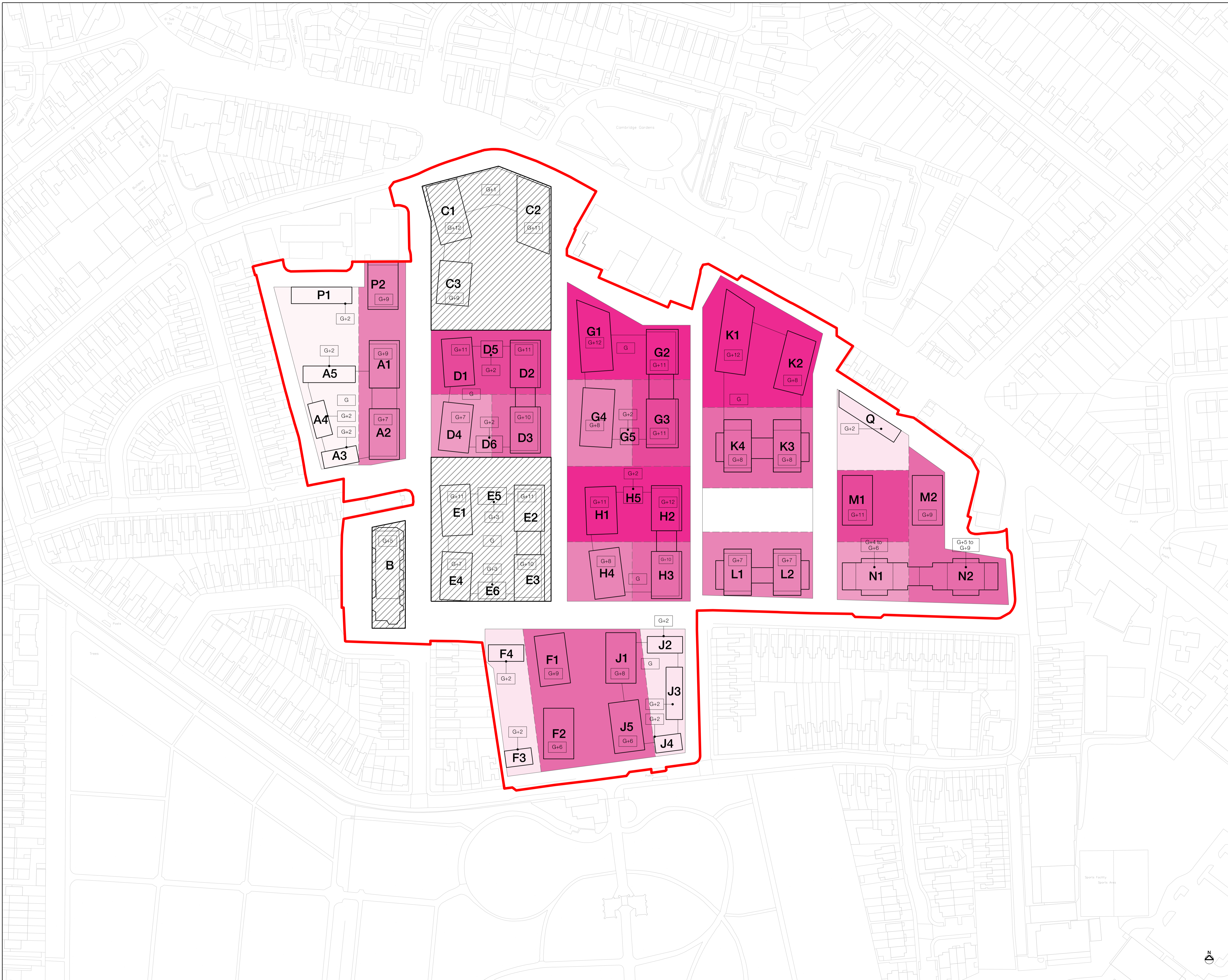
**Project**  
 Cambridge Road

**Scale**  
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**Status**  
 For Planning

**Drawing Number** 503-PTA-MP-XX-DR-A-5408  
**Revision** PL1

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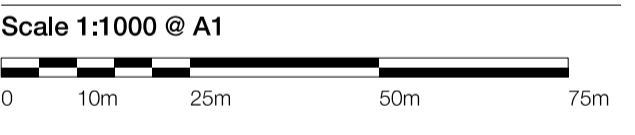


**Client** Countryside  
 79 Enfield Road  
 London  
 W3 3RB

**Architect** Patel Taylor  
 48 Rawstorne Street  
 London  
 EC1V 7ND

**Drawing Notes**  
 Refer to Parameter Plan  
 503-PTA-PP-XX-DR-A-5306 for  
 vertical AOD height limits

- Key**
- Cambridge Road Estate (CRE) planning application boundary
  - Detailed component of the Hybrid Planning Application, Plots B, C & E
  - Building Line
  - Building Storey Height



Issue Record	By	Chk	Date
PL1 For planning	RM		30.03.2021

**Title**  
 Masterplan Illustrative Plan  
 Illustrative building heights  
 Vertical parameter overlay

**Project**  
 Cambridge Road

**Scale**  
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**Status**  
 For Planning

**Drawing Number** 503-PTA-MP-XX-DR-A-5409  
**Revision** PL1

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